

# HOME BUILDING OPPORTUNITY (HBO)

October, 2025

*Remaining Lots* - Bread Creek Village

## Comprehensive Housing Division

2913 Commissioner Street  
Oneida WI, 54155

(920)869-2227  
[chd@oneidanation.org](mailto:chd@oneidanation.org)





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# Home Building Opportunity (HBO) Guidance

We have prepared this handy checklist for you as the homeowner to get started with the HBO Program. It is intended to be a step-by-step progression of the process for working with the Oneida Nation to build your own home. It is intended to provide general guidance; some steps may vary depending upon your unique home.

## Things to consider when planning your new home:

### Home Planning

- ☐ **Determine home size** (*determine prior to applying for a lot*)
  - Smaller homes (450-950 square feet) have smaller lots available
  - Average-typical homes (950+ square feet) may require one of the larger lots
- ☐ **Determine home type** - traditional stick-built construction or manufactured home purchase
  - ☐ Tradition Stick Built Method
    - Identify a qualified & licensed and insured Residential Home General Contractor
    - Design Home
    - Determine foundation requirements
  - ☐ Manufactured Home
    - Identify a qualified & licensed and insured manufactured home dealer
    - Select home model
    - Determine foundation requirements
- ☐ **Planning for Home Utilities**
  - ☐ Laterals - water and sewer
    - *Please reference the subsequent "Contractor's Checklist" - specifically the "Water & Sewer Lateral" Section.*
  - ☐ Electrical Service
    - All electrical utilities are available in the front of the lot, home builder is responsible for the lateral installation/cost
    - [Contact WPS Energies for electrical service installation](#)
  - ☐ Communications
    - All communications utilities (telephone, internet, cable, etc.) are available in the front of the lot, home builder is responsible for the installation/cost to connect to home
    - Some helpful links [Spectrum](#), [AT&T](#), [TDS Telecom](#) , [NSight](#)
  - ☐ Natural Gas
    - WPS provides natural gas for this parcel. The main natural gas line serving the neighborhood has already been installed, the service connection is at the front of the lot. Homeowner/Contractor is responsible for the installation coordination and cost of installation.
    - WPS Natural Gas installation website: [WPS Natural Gas](#)

## Things to consider when planning your new home:

### Yard (Site) Planning

- ☐ Deck or patio - *plan ahead, even if you are not going to build it now*
- ☐ Swimming Pool - *plan ahead, even if you are not going to build it now*
- ☐ Garage - *plan ahead, even if you are not going to build it now*
  - ☐ Attached or detached to home
  - ☐ Maybe a future garage
- ☐ Accessory Building
  - ☐ Shed
  - ☐ Second small garage
- ☐ Fence - [\*please reference the Oneida Zoning & Shoreland Protection Law - specifically section §605.6-1. General Regulations\*](#)
- ☐ Swing Sets - *within lot setbacks*
- ☐ Landscape Requirements - *Please reference the subsequent "Covenants" Section.*
- ☐ Invisible fence for pet - [\*please reference §0304. Domestic Animals\*](#)
- ☐ Outdoor fire pit - *verify proposed location with Oneida Nation Building Code Official and/or Fire Marshall once a location is located prior to digging*

### Building Plan

- ☐ Ensure either you, a home designer, or your contractor has completed a scaled drawing of your home plan that includes: the drawing scale (*example* - Drawing Scale:  $\frac{1}{4}" = 1'-0"$ ), all dimensions, detailed notes, the exact location of utilities (*example* - where they connect to your home, where they are located within your lot) all shown within the entire site plan of your lot.

### Building Permit

*Please reference the subsequent "Contractor's Checklist" - specifically the "Building Permit" Section.*

### Construction or Manufacture Home Delivery:

- ☐ Your contractor must call to schedule all steps of all inspections (*as required by the building permit*) at least one (1) business day before the inspection is required
- ☐ Call 920-869-4510 or email [Oneida\\_Zoning@oneidanation.org](mailto:Oneida_Zoning@oneidanation.org)
- ☐ You (or your contractor) are responsible for contacting [Diggers Hotline](#) *prior to any* earth moving activities commencing
- ☐ Address Numbers -shall be clearly posted and maintained at the home site prior to any earth moving activities commencing. Temporary address numbers are acceptable during construction, provided they are clear and visible from the road.
- ☐ Construction area should be staked out prior to start of earth moving
- ☐ Installation of compliant foundation must be complete and/inspected by *Oneida Code Compliance & Zoning Dept.* *prior to* commencing on any construction above the foundation; or taking delivery of a manufactured home.
- ☐ Ensure all required new smoke detection and carbon monoxide detections are in place, properly energized and connected prior to calling for your final inspection.

### Occupancy:

- ☐ *Please reference the subsequent "Contractor's Checklist" - specifically the "Occupancy" Section.*

We have prepared this handy “checklist” for **your contractor** to get started with the HBO Program. It is intended to be a step-by-step progression of the process for working with the Oneida Nation to build the home for an Oneida Tribal Member. It is intended *to provide general guidance*; some steps may vary depending upon your home.

### Your Contractor's Checklist:

#### Upon signing a construction (or manufactured home) contract:

- For stick-built construction method (full basement or partial) see the recommended foundation detail included in this packet. It is *highly recommended* this detail be followed to ensure a dry, healthy foundation installation. A non-recommended detail can be constructed, providing it is code-compliant, but only with homeowner approval.
- Planning for Home Utilities
  - **NOTE: ALL OF THE BELOW ARE IMPORTANT FIRST STEPS FOR CONTRACTOR**
    - Upon establishing contract with the homeowner, once a site plan is established, complete the following:
      - Prepare a drawing, even if a hand sketch is acceptable, where you plan to place all the services below connected to the home. This drawing (sketch) will be needed to initiate a Service Line Agreement for each of the services below with each respective service provider.
      - A complete home plan shall include dimensions and detailed notes that identify all proposed utilities connection locations - including their exact location with the dimensions of the location. The following should be shown clearly in detail on your plan:
        - WPS electric and gas service lines
        - Oneida Utilities/Plumbing water/sewer laterals
        - Any other connected service provider (cable, internet telephone) which requires in-ground service installation
        - Once this plan is complete, submit to: **Diane Wilson**, Property Manager - Oneida Nation; email: [dwilson@oneidanation.org](mailto:dwilson@oneidanation.org); phone: 920-869-1690 ext. 6614
        - Diane Wilson will provide you with a draft copy of the service line agreement for each respective service provider. This will initiate the process of gaining approval for each service line agreement which needs to be registered with the Bureau of Indian Affairs.
        - **IMPORTANT NOTE:** THIS PROCESS CAN TAKE SIX (6) WEEKS TO PROCESS, thus the importance of getting this submittal started as early as possible, prior to even applying for a building permit.

## Your Contractor's Checklist:

- Driveway placement
  - General Driveway placement guidance
    - Location of the driveway must be within the allowable area on the individual lot description sheet that corresponds with each lot.
    - Driveway location *side yard setbacks* are denoted and vary by lot (depending upon allowable driveway location on lot, lot curvature, proximity to intersection, etc.). If you are unable to scale the allowable side yard driveway setback from the individual lot description sheet, always check with the *Oneida Code Compliance & Zoning Dept.* Inspector to confirm planned location *prior to beginning* any construction of the driveway.
  - Lots *WITH* and *WITHOUT* a stormwater ditch
    - Expect some fees to be assessed (determined by the road owner/municipality).
    - Work directly with *Oneida Code Compliance & Zoning Dept.* Staff to coordinate internally within Oneida Nation Departments and externally with local municipalities, if permits are required.
    - If there is a stormwater ditch on the building site, you need to provide and properly install a stormwater culvert. Again, work directly with *Oneida Code Compliance & Zoning Dept.* Staff to coordinate internally within Oneida Nation Departments and externally with local municipalities, if permits are required.
- Laterals - water and sewer
  - All water and sewer connections are available in the front of the lot near the curb, homeowner/contractor is responsible for the lateral installation/cost
  - Water & Sewer lateral permits are obtained through the *Oneida Utilities Dept.* The cost is \$600.00 for both water & sewer connections. The water meter is also provided by the *Oneida Utilities Dept.*
  - Contact *Oneida Community Wells, Septic & Plumbing Dept.*
  - Contact: 920-869-4578; Email: [kjordan2@oneidanation.org](mailto:kjordan2@oneidanation.org)
- Electrical Service
  - All electrical utilities are available near the street curb of the lot, and the contractor/homeowner is responsible for the service line installation/cost
  - [Contact WPS Energies for electrical service installation](#)
- Communications
  - All communications utilities (telephone, internet, cable, etc.) are available in the back of the lot, homeowner is responsible for the installation/cost to connect to home
  - Some helpful links [Spectrum](#), [AT&T](#), [TDS Telecom](#), [NSight](#)
- Natural Gas
  - WPS provides natural gas for this parcel. The main natural gas line serving the neighborhood has already been installed, the service connection is at the front of the lot. Homeowner/Contractor is responsible for the installation coordination and cost of installation.
  - WPS Natural Gas installation website: [WPS Natural Gas](#)

## Your Contractor's Checklist:

### Building Permit

- ☐ Site Plan - have your home's site plan completed [Please reference the Oneida Zoning & Shoreland Protection Law - specifically section §605.6-1. General Regulations](#)
- ☐ Building Plan - have your home's site plan completed - [please reference the Oneida Building Code - specifically section §603.6-3. Information to Accompany Application](#)
- ☐ Identify the following license holders, you will need these names and/or companies identified to apply for a building permit
  - ☐ Identify Qualified & Licensed Master Electrician
  - ☐ Identify Qualified & Licensed Master Plumber
  - ☐ Identify Qualified & Licensed HVAC Installer
- ☐ Proof of Lease - have a copy of the homeowner's residential lease available at time of building permitting
- ☐ Applying for a Building Permit - refer to this link to begin applying for [Building Permit Application](#) or one is attached to this document.
- ☐ Expect to have a NEPA (National Environmental Protection Administration) review as part of the building permitting. This has many variables depending upon (potential mortgage, IHS water & sewer grant requirements, BIA residential lease, etc.)

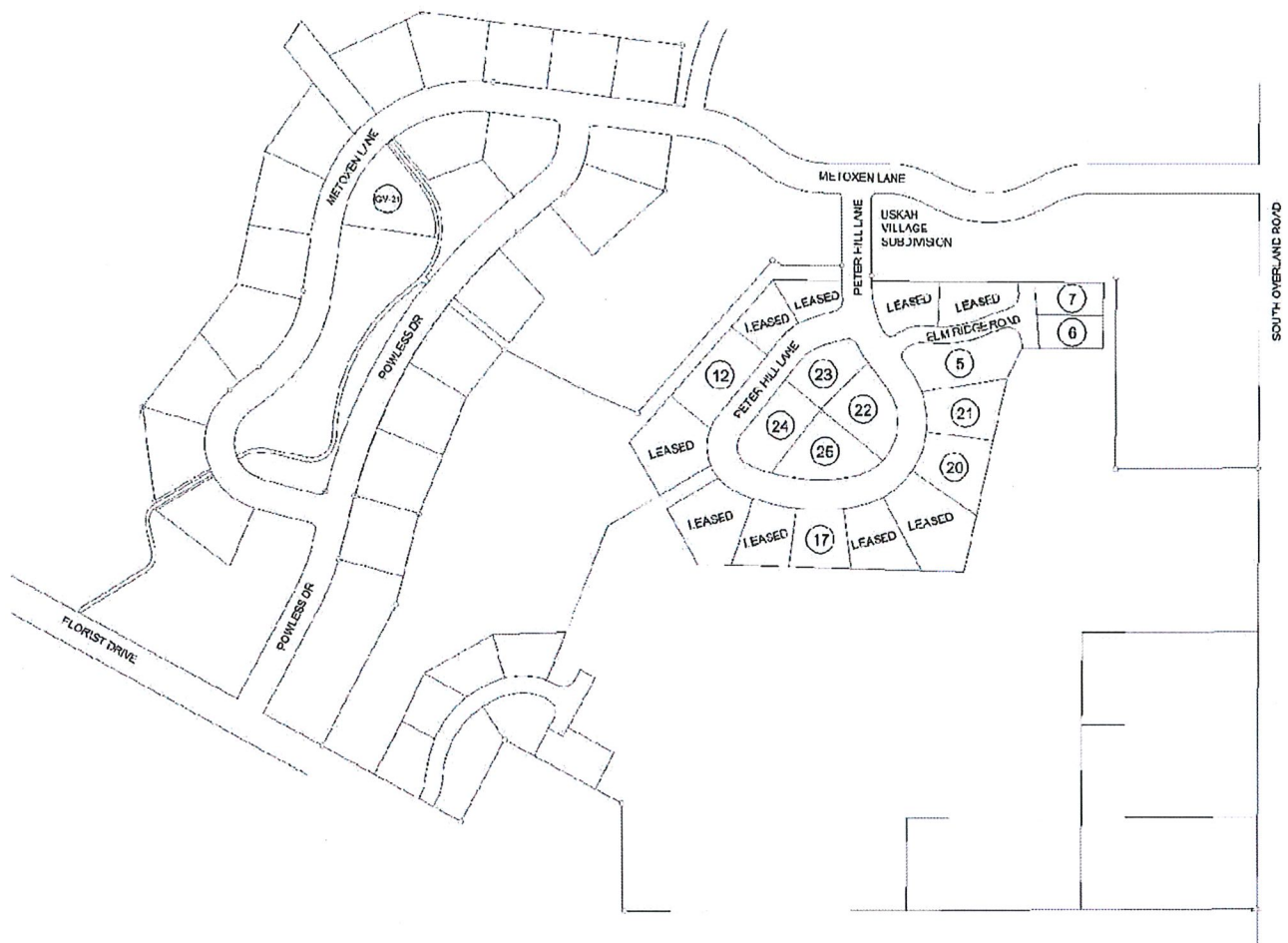
### Construction or Manufacture Home Delivery:

- ☐ Contractor shall be responsible for contacting [Diggers Hotline](#) *prior to any* earth moving activities commencing
- ☐ Address Numbers -shall be clearly posted and maintained at the home site prior to any earth moving activities commencing. Temporary address numbers are acceptable during construction, provided they are clear and visible from the road.
- ☐ Construction area should be staked out prior to start of earth moving
- ☐ Installation of the required foundation must be complete and/inspected prior to commencing on any construction above the foundation and/or delivery of manufactured home.
- ☐ Ensure all the required new smoke detection and carbon monoxide detections are in place, properly energized and connect prior to calling for your final inspection
- ☐ The contractor shall call to schedule all required construction progress inspections (as required by the building permit) at least one (1) business day before the inspection is required
  - Call 920-869-4563 or email [Oneida\\_Zoning@oneidanation.org](mailto:Oneida_Zoning@oneidanation.org)

### Occupancy:

- ☐ Your homeowner client *shall not move in nor, in any way occupy*, your new home until you have received an **Occupancy Permit** from the Oneida Code Compliance & Zoning Dept.
- ☐ Driveway apron- *shall be placed* prior to occupancy
- ☐ Your homeowner client's mailbox is located at the entrance of the subdivision in a cluster mailbox location and already has your home address number on the door of your mailbox.
- ☐ You shall post *Building Numbers (aka Fire Numbers)* prior to your homeowner client's occupancy [please reference section §605.11-10. Building Numbers](#)
- ☐ All landscaping *shall be completed* within the requirements of the respective "Covenants" to ensure site stabilization and prevention of soil erosion.

# Bread Creek Village HBO Lots Available – 2025



BREAD CREEK VILLAGE HBO LOTS AVAILABLE

SCALE: NOT TO SCALE

DATE OF ISSUE: 01/05/25



## Bread Creek Village HBO Lots Available

Lot #	Lot Size (sq. ft.)	Lot Size (%acre)	Max. Buildable Area (sq. ft.)	Front yard setback (ft.)	Back yard setback (ft.)	Side yard setbacks (ft.)	Min. Home Size (sq. ft.)	Street Address:	Notes:
BCV-5	20,465	0.470	9,923	25	10	5	950	457 Elm Ridge Road	1
BCV-6	8,750	0.201	4,945	25	10	5	450	465 Elm Ridge Road	1
BCV-7	9,239	0.212	5,215	25	10	5	450	462 Elm Ridge Road	1
BCV-12	17,706	0.406	10,526	25	10	5	950	2783 Peter Hill Lane	2
BCV-17	13,134	0.302	7,502	30	15	5	950	2763 Peter Hill Lane	
BCV-20	16,764	0.385	10,559	30	15	5	950	2751 Peter Hill Lane	2
BCV-21	15,521	0.356	9,946	30	15	5	950	2747 Peter Hill Lane	2
BCV-22	16,373	0.384	9,476	25	10	5	950	453 Elm Ridge Road	2
BCV-23	12,976	0.298	6,676	25	10	5	450	2790 Peter Hill Lane	1
BCV-24	16,134	0.370	8,575	25	10	5	950	2786 Peter Hill Lane	2
BCV-25	17,032	0.391	9,982	25	10	5	950	2782 Peter Hill Lane	2
GV-21	21,482	0.493	12,612	30	10	10	30	TBD Metoxen Ln	2

### Bread Creek Village Lots - Notes:

<b>ALL LOTS</b>	<b>Allowable HBO Homes:</b> Standard Construction (stick-built), Manufactured, and Modular Homes are all acceptable within requirements within the covenants of the Land Commission Approved PUD (Planned Unit Development). Mobile homes are not allowed within this neighborhood. Building permitting by Oneida Zoning will be based upon the Building Code Requirements for each respective home type.
<b>1</b>	Minimum building area: four hundred fifty (450) square feet.
<b>2</b>	Minimum building area: nine hundred fifty (950) square feet. If a building plan is provided that allows for expansion of the original building, phased construction, then phase 1 or the initial building may be a minimum of seven hundred fifty (750) square feet.

## Specific to Bread Creek Village Lots:

Planned Unit Development (P.U.D.) *AMENDMENT*

Bread Creek Village Housing Development

CIP #18-009

**February 28, 2022 - *Approved by Oneida Land Commission***

605.9-9. *Control of PUD After Final Development Plan Approval.*

(5) All other changes in the final development plan shall be made by the Land Commission under the procedures authorized by this law. No changes shall be made in the final development plan unless said changes are found to be required

*Proposed Amendment to Final Approved P.U.D.:*

(b) (5) (E.1) COVENANTS:

~~No covenants have been written for Bread Creek Village at this time, nor are any anticipated.~~

*Replace with the following:*

(b) (5) (E.1) COVENANTS (*amended 2/28/2022*):

The following covenants shall apply to all single family home residential home construction within the Bread Creek Village P.U.D., in addition to all requirements established in the Home Builders Opportunity (HBO) rules.

i) Acceptable foundation types:

- a) Full basement
- b) Partial full basement
- c) 4' frost wall with concrete floor and crawl space
- d) Thickened slab-on-grade with code-required energy minimum standards met; in-floor radiant hot water heat source (*recommended, but not required*)
- e) Manufactured housing code-compliant slab-on-grade with tie down requirements met and required concrete masonry unit (CMU) skirting at perimeter of manufactured home including exterior skirting materials that shall match the exterior of the manufactured home exterior finish

ii) Acceptable building methods and/or construction delivery

- a) Traditional stick-built construction method
  - i) A required foundation detail will be provided and shall be built
    - (1) Any exceptions to this requirement must be presented in detail to the Zoning Department at the time of building permit application and will be granted at the Building Inspectors discretion
- b) All types of manufactured or modular homes shall be delivered to the site in new condition directly from the manufacturer or licensed home dealer
- c) All types of manufactured homes shall be more than twenty (20) linear feet in width/length in any dimension
- d) Off-site manufactured and delivered modular home components

- e) Regardless of method/type - all homes shall meet all minimum code-required standards for each respective home type

iii) Unacceptable building types

- i) Single-wide manufactured homes (trailers)
- ii) Used manufactured or modular homes, regardless of age
- iii) Any home type having axle(s) remaining permanently affixed to the home after delivery

iv) Architectural features required for all homes

- a) Acceptable roofing materials
  - i) Asphalt shingles roofing materials
    - (1) Dimensional 40+-year shingles recommended
    - (2) Single-ply 3-tab 30-year shingles allowable
  - ii) Metal shingle roofing material
  - iii) Standing seam metal roof
  - iv) Clay tile roofing
    - (1) Allowable (*but not recommended*)
- b) All homes shall have a complete storm water conveyance system consisting of gutters, downspouts and four (4) foot (*minimum*) outward-positioned extension on each downspout to move all roof storm water positively away from the home on all downward slopes of the home's roof
  - i) Rain gardens and/or barrels are allowable and recommended, providing they are maintained and all storm water is conveyed away from home
- c) Full basements and partial basements foundations shall be required to have drain tile installed on the inside and outside of all footings that positively drain to a sump pit, which shall be installed with a sump pump, PVC piping to the exterior and rigid or flexible piping (above or below grade) conveyance system to move ground water a minimum of twenty (20) feet beyond the back side of the home
  - i) Sump pump discharge shall not be acceptable to the front nor either side of the home
- d) Building numbers
  - i) During construction of home
    - (1) A temporary address number shall be installed within five (5) feet of the road curb within the lot near the driveway location prior to commencement of any construction activity
  - ii) Finished fire signs or address numbers
    - (1) Must be installed in accordance with the Oneida Zoning & Shoreland Protection Law 605.11-10. *Building Numbers*.

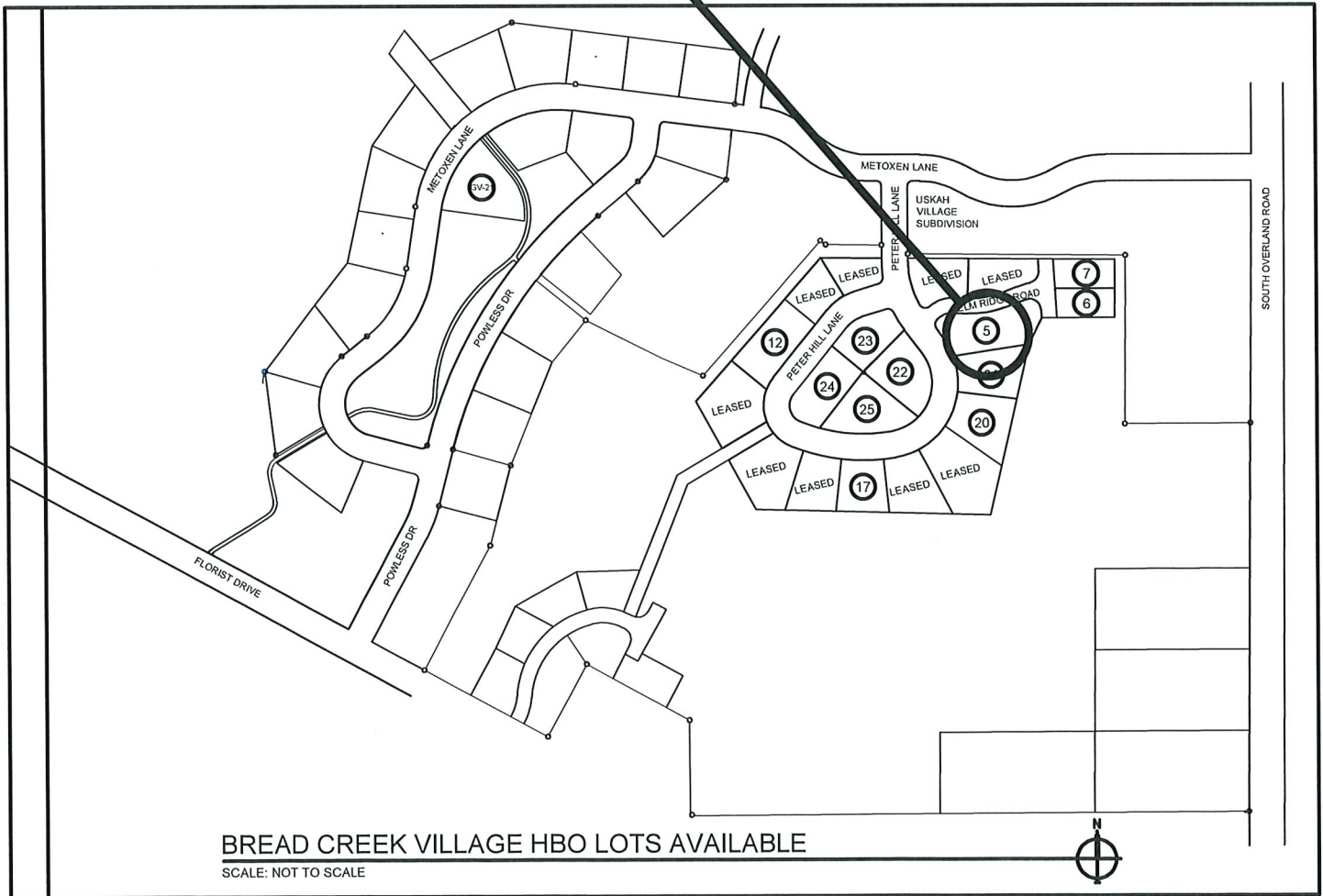
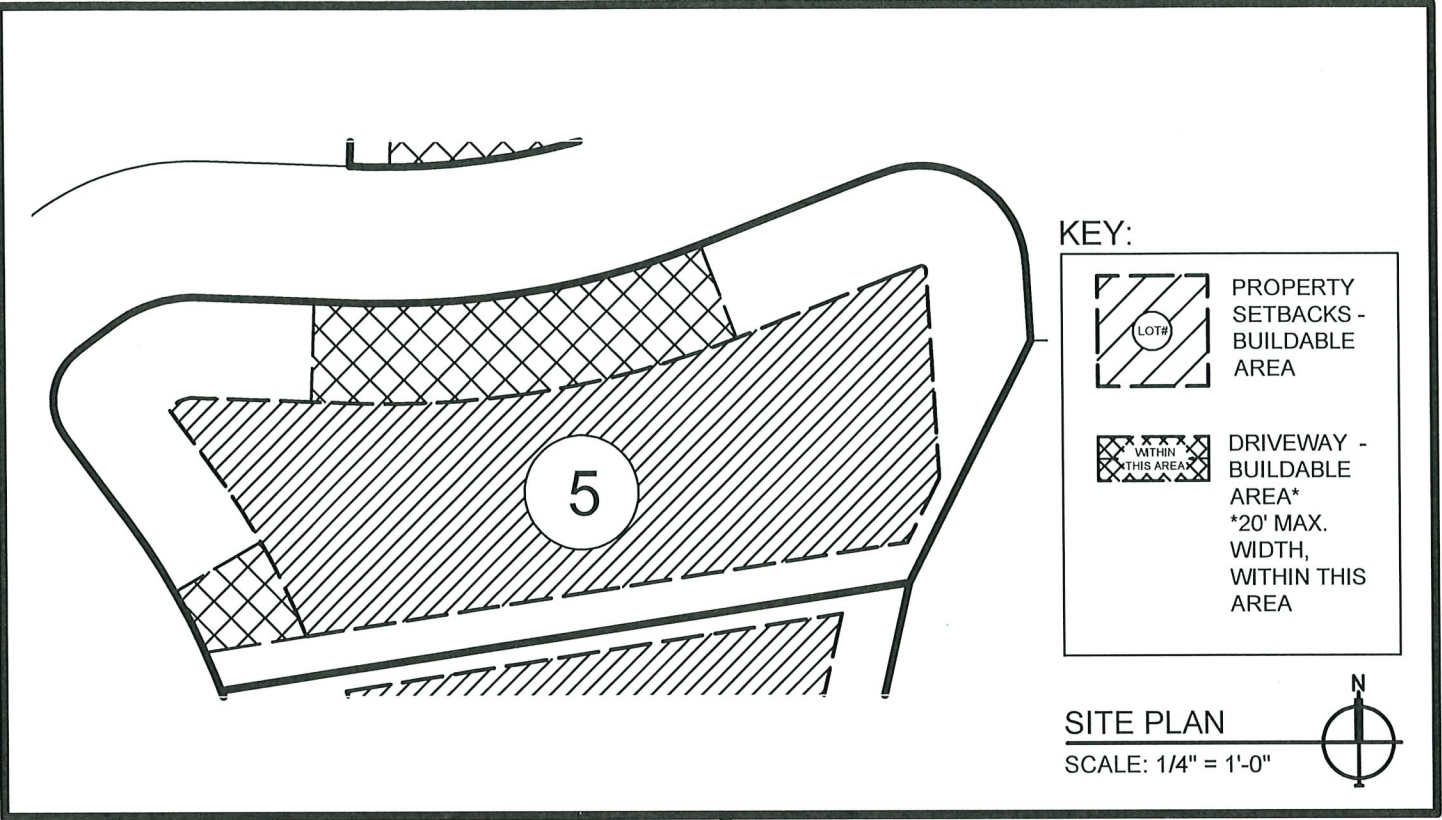
v) Requirement of construction and/or site preparations

- a) Lot elevation
  - i) It is the homeowner's direct responsibility *or delegated to their contractor* to complete final grading of the lot to accommodate the new home, ensure storm water conveyance away from the home and to remain within the adjacent lot grading context of the P.U.D.
- b) Home primary floor elevation
  - i) It is the homeowner's direct responsibility *or delegated to their contractor* to ensure the following
    - (1) Properly set the elevation of the primary floor of the home at an elevation that ensures the home will be built and/or installed on suitable soils

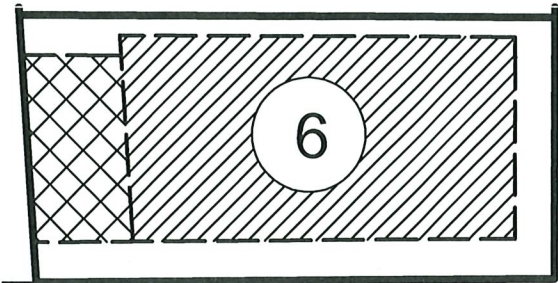
- (2) Provide for a safe, healthy and dry elevation point for the life of the home
- (3) Be installed in accordance with the Oneida Zoning & Shoreland Protection Law
- c) Removal of excess excavated and/or scraped soils
  - i) All excess soil shall be transported off-site and delivered to Oneida Nation property in the established temporary excess material site located southeast of the corner of Minoka Hill Drive and Maria Hinton Way (*less than one mile from construction site*)
- d) Water and sewer laterals
  - i) All water and sewer laterals shall be the responsibility of the homeowner
  - ii) All water and sewer laterals installation methods shall be compliant with the Oneida Building Code
- e) Driveway requirements
  - i) Driveway location
    - (1) Homeowner is directly responsible *or delegated to their contractor* for all curb cuts
    - (2) All curb cuts shall be no less than ten (10) feet from either side lot line
    - (3) No adjacent property driveways shall be less than twenty (20) feet from each other
  - ii) Driveway width
    - (1) Driveway width shall not exceed twenty (20) feet
    - (2) Driveway apron shall include side flares to accommodate turning radiuses
    - (3) Driveway shall be able to accommodate a minimum of two (2) off-street parked vehicles
    - (4) Additional driveway width accommodations are approved at the discretion of the Zoning Administrator and shall meet applicable Oneida Zoning & Shoreland Protection Law requirements
  - iii) Driveway materials
    - (1) Acceptable temporary driveway material requirements during construction
      - (a) Crushed compacted limestone gravel driveways
      - (b) Any acceptable permanent driveway material
    - (2) Acceptable permanent driveway material requirements
      - (a) Four (4) inch thick reinforced concrete slab-on-grade with required sub-grade aggregate
      - (b) Three (3) inch minimum thick asphalt with required sub-grade aggregate
  - iv) Complete driveway installation shall be finished within one (1) year of issuance of occupancy of the home
- f) Lot slope and landscape requirements
  - i) All storm water shall be handled within the lot lines and no storm water shall be conveyed across any other lot
  - ii) Prior to the next October 1st (of any given year) after the date which the home is granted occupancy, a grass lawn shall be established to prevent soil erosion
    - (1) A one-year maximum extension of this requirement may be granted by the Building Inspector due to extenuating circumstances
- vi) Exterior Improvements to the lot
  - a) Garages *are strongly recommended to be built at the time of initial construction* but are not required within this P.U.D.
    - i) Attached garage will follow all requirement within the Oneida Building Code
    - ii) Detached garage will be permitted separately under the Oneida Building Code if not completed within one (1) year of the home construction and are *strongly recommended* that the location of the garage be pre-planned if the desire is to build the garage after one (1) year of occupancy of the home

- b) The following improvements are allowable and shall follow the requirements of the Oneida Zoning & Shoreland Protection. Installation of these improvements can occur within one year of occupancy of the home or later under separate permitting by Oneida Zoning
    - i) Fences
    - ii) Trash can screening
    - iii) Accessory structure (shed)
  - c) U.S. Mailbox delivery has been established in accordance with the *U. S. Postal Service National Delivery Planning Standards - A Guide for Builders and Developers*
    - i) No homes within the P.U.D. shall have individual mailboxes neither on the home nor at the curb
    - ii) A required Clustered Box Unit (CBU) has been established and installed near the entrance to the P.U.D. for all U.S. Mail needs of the P.U.D. residents
- vii) The following regular seasonal exterior maintenance is required of all homes within the P.U.D.
- a) Storm water conveyance maintenance to keep clean and clear of debris to ensure positive storm water movement away from home
    - i) Gutters, downspouts and extensions
    - ii) Exterior sump pump piping for backyard discharge
    - iii) Grade and vegetation of lawn to ensure movement of storm water away from the home without causing soil erosion
  - b) Roof finish
    - i) Roofing materials
    - ii) Fascia and soffit
  - c) Exterior finish
    - i) All exterior wall and near-grade finish materials
  - d) Lawn cutting and maintenance
    - i) Shall be compliant with the Oneida Zoning & Shoreland Protection Law
  - e) All other property maintenance shall be completed with the Oneida Zoning & Shoreland Protection Law

# BREAD CREEK VILLAGE LOT #5



# BREAD CREEK VILLAGE LOT #6



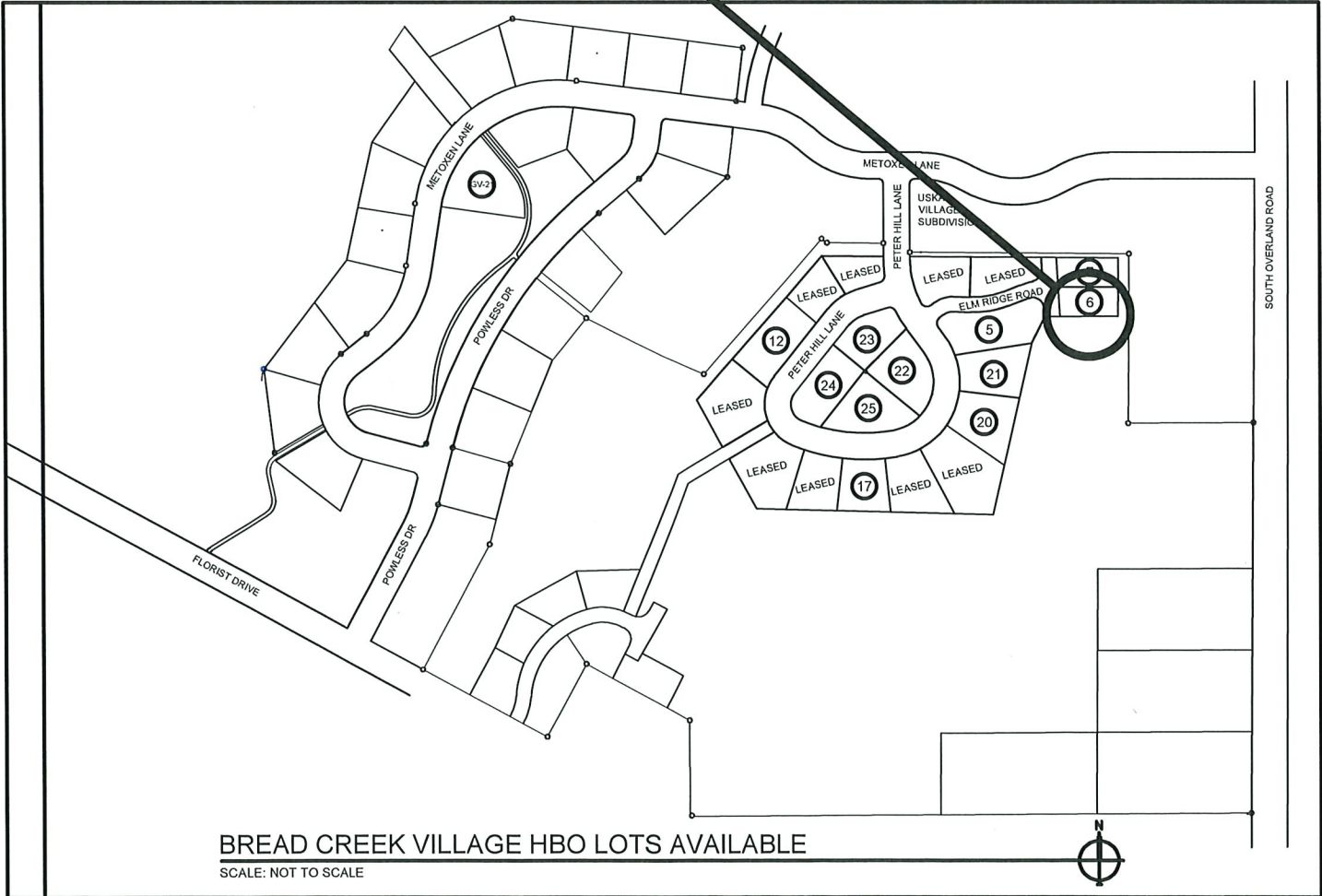
KEY:

PROPERTY SETBACKS - BUILDABLE AREA

DRIVEWAY - BUILDABLE AREA\*  
\*20' MAX. WIDTH, WITHIN THIS AREA

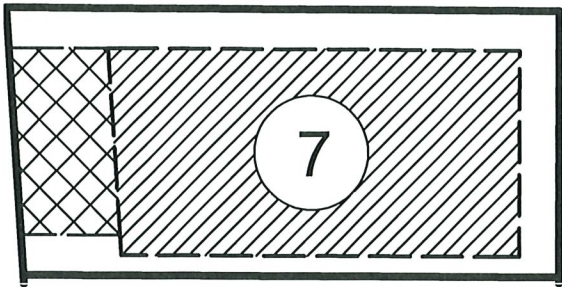
SITE PLAN

SCALE: 1/4" = 1'-0"




# BREAD CREEK VILLAGE LOT #7


LOT NOTE:  
SMALLER LOT  
DESIGNED FOR SMALL  
HOME (450 SF MIN.)



KEY:



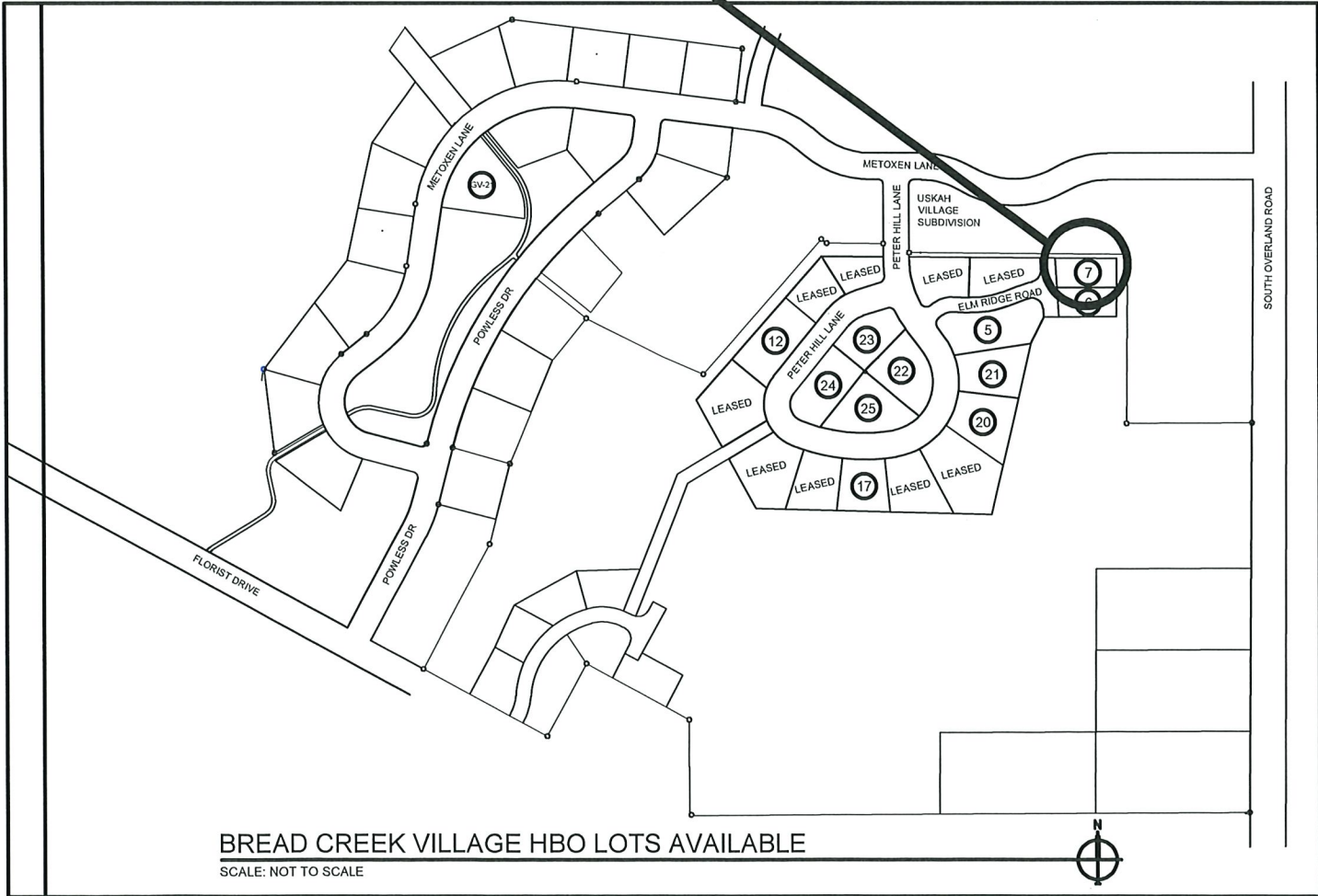

PROPERTY  
SETBACKS -  
BUILDABLE  
AREA



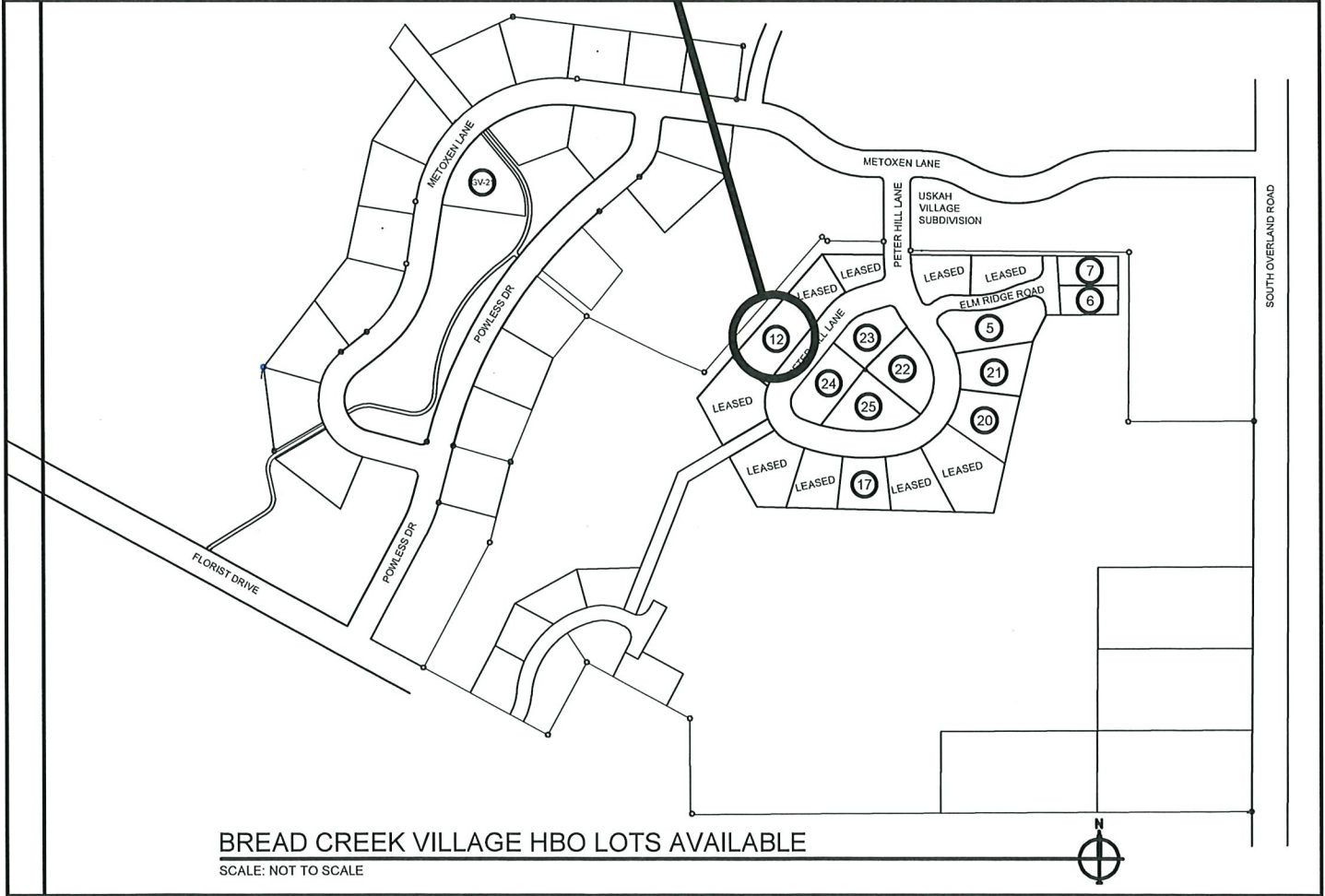
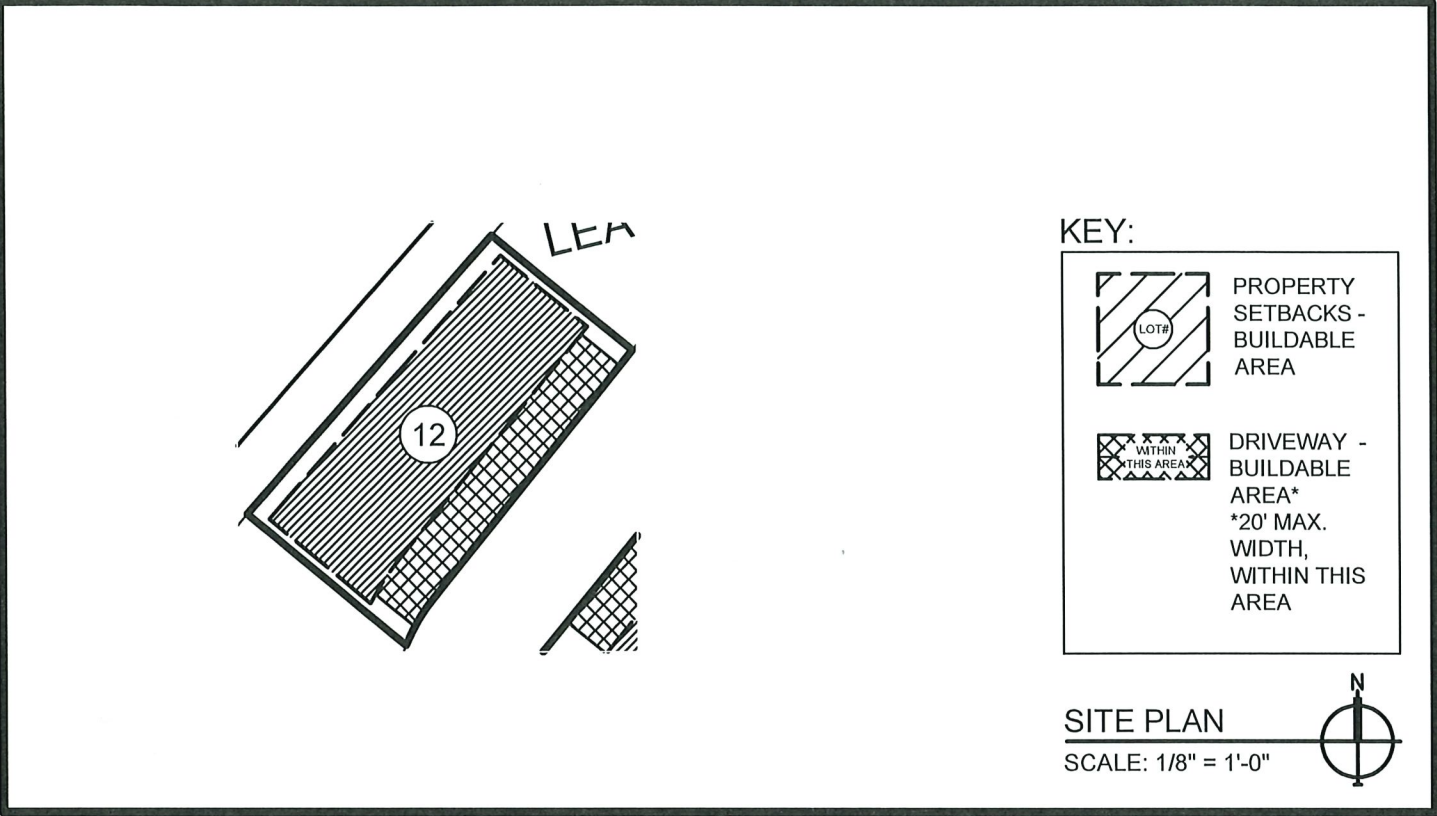
DRIVEWAY -  
BUILDABLE  
AREA\*  
\*20' MAX.  
WIDTH,  
WITHIN THIS  
AREA

SITE PLAN

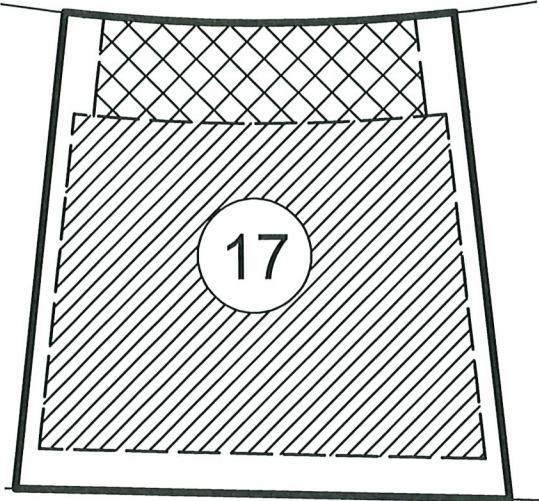
SCALE: 1/4" = 1'-0"




# BREAD CREEK VILLAGE LOT #12




# BREAD CREEK VILLAGE LOT #17



KEY:



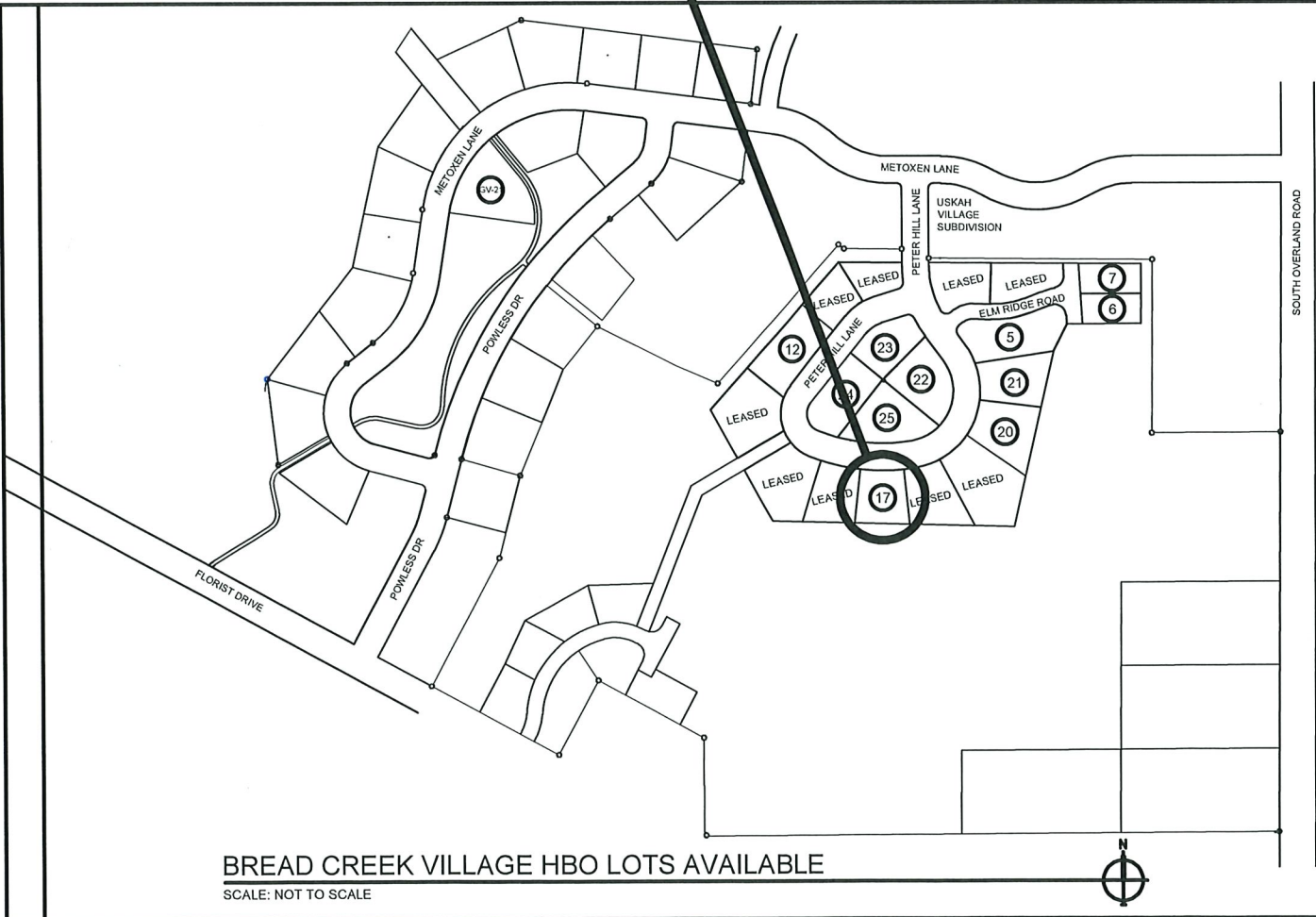
PROPERTY  
SETBACKS -  
BUILDABLE  
AREA



DRIVEWAY -  
BUILDABLE  
AREA\*  
\*20' MAX.  
WIDTH,  
WITHIN THIS  
AREA

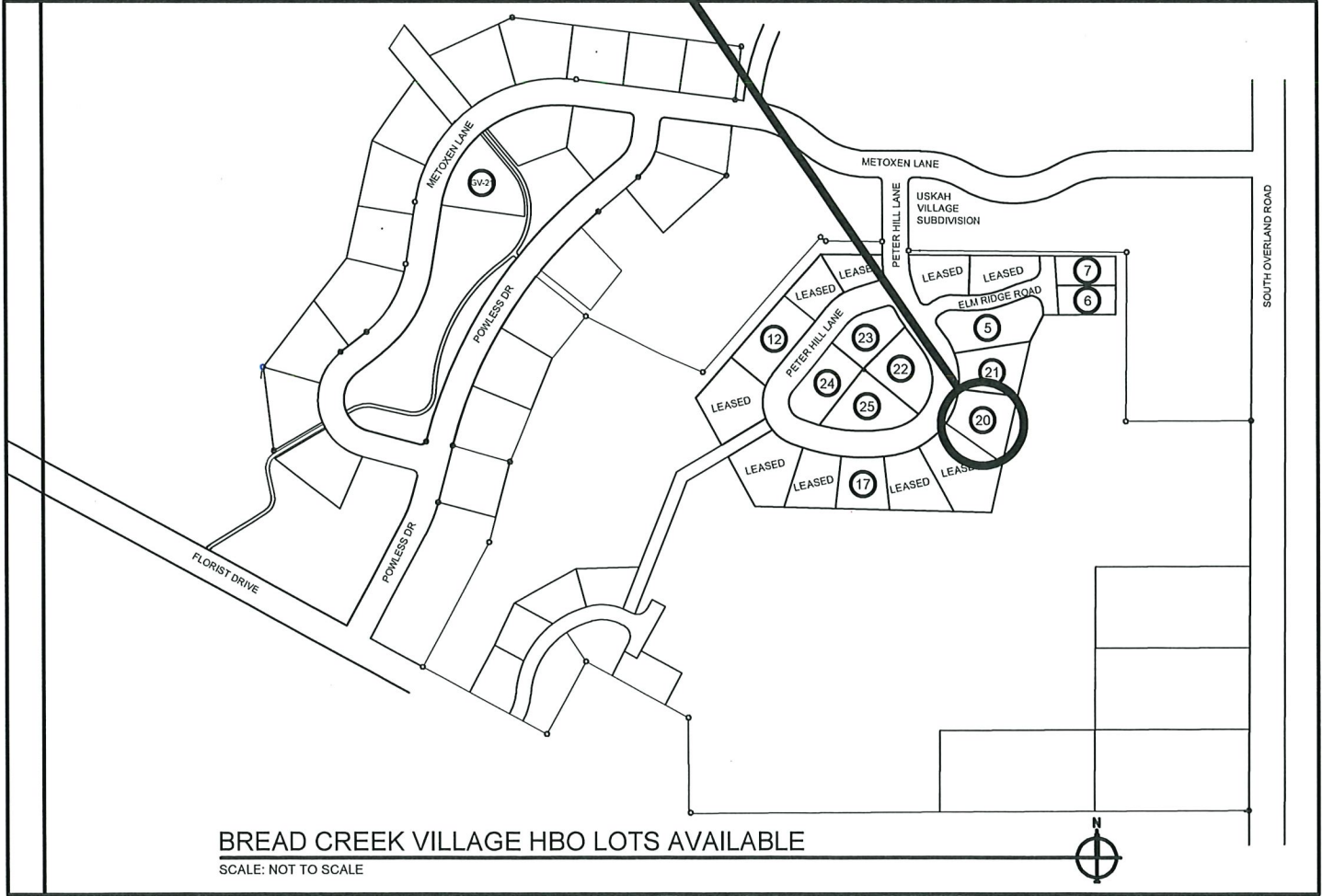
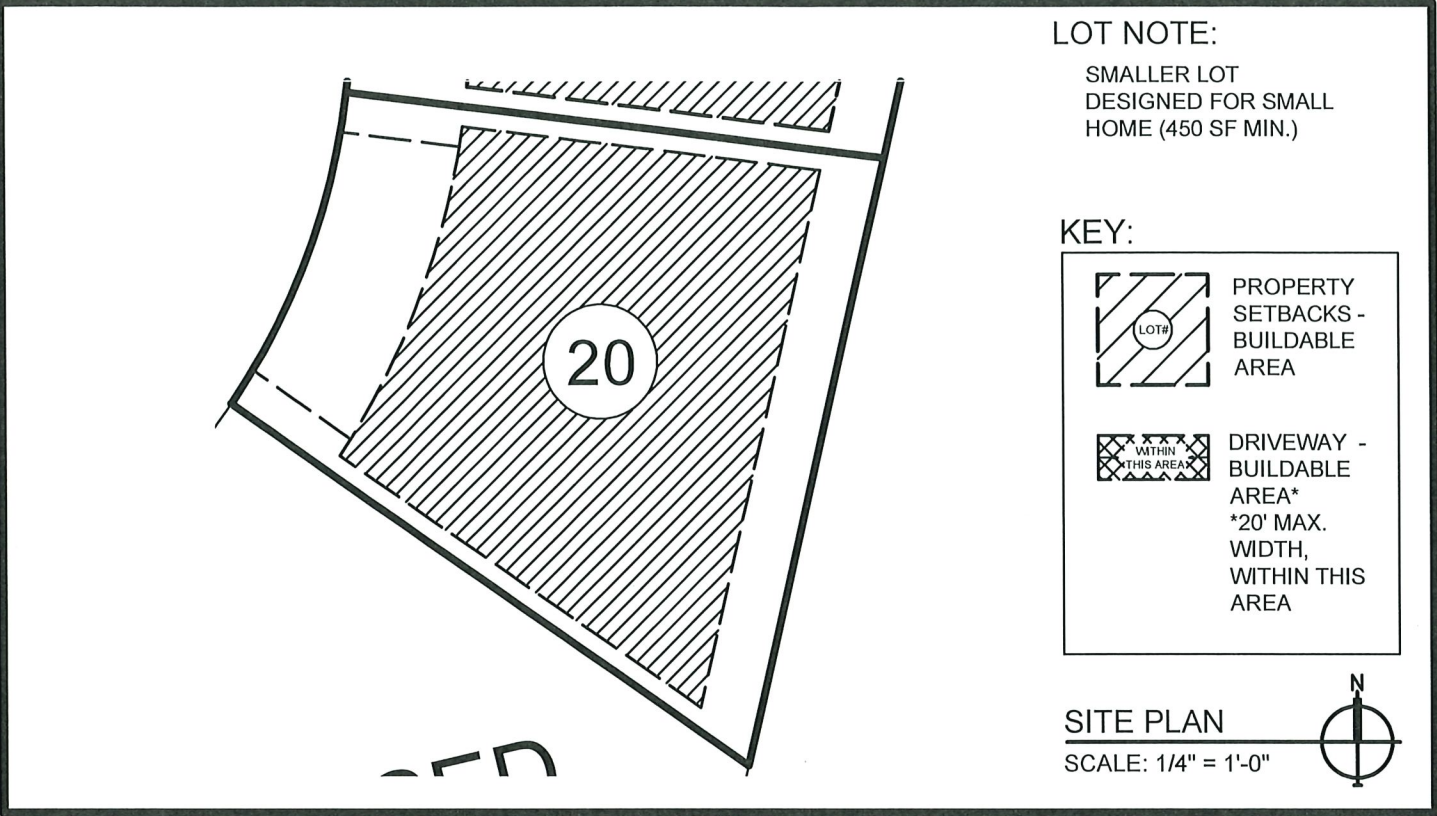
SITE PLAN

SCALE: 1/4" = 1'-0"



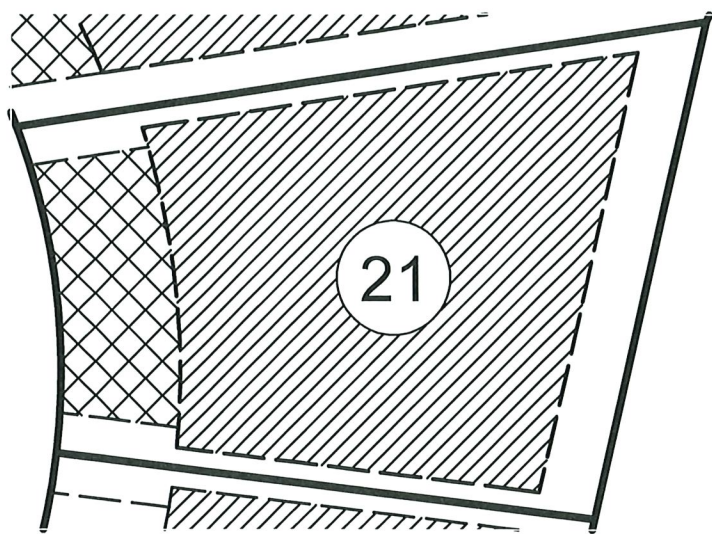
BREAD CREEK VILLAGE HBO LOTS AVAILABLE  
SCALE: NOT TO SCALE

# BREAD CREEK VILLAGE LOT #20



# BREAD CREEK VILLAGE LOT #21

LOT NOTE:  
SMALLER LOT  
DESIGNED FOR SMALL  
HOME (450 SF MIN.)

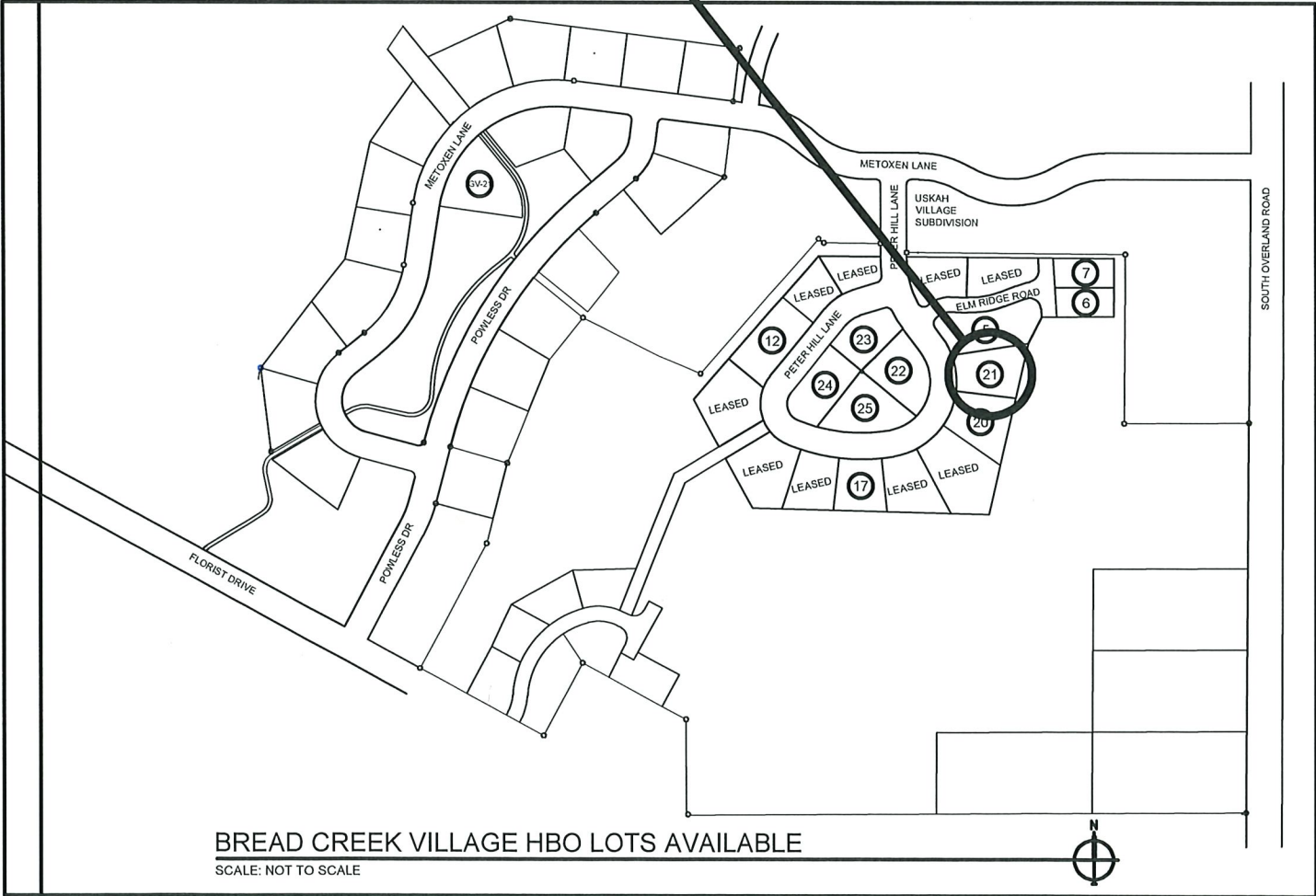


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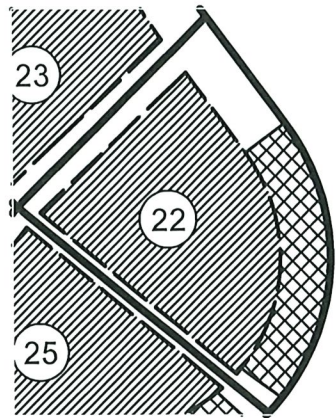
	PROPERTY SETBACKS - BUILDABLE AREA
	DRIVEWAY - BUILDABLE AREA* *20' MAX. WIDTH, WITHIN THIS AREA

SITE PLAN

SCALE: 1/4" = 1'-0"



# BREAD CREEK VILLAGE LOT #22

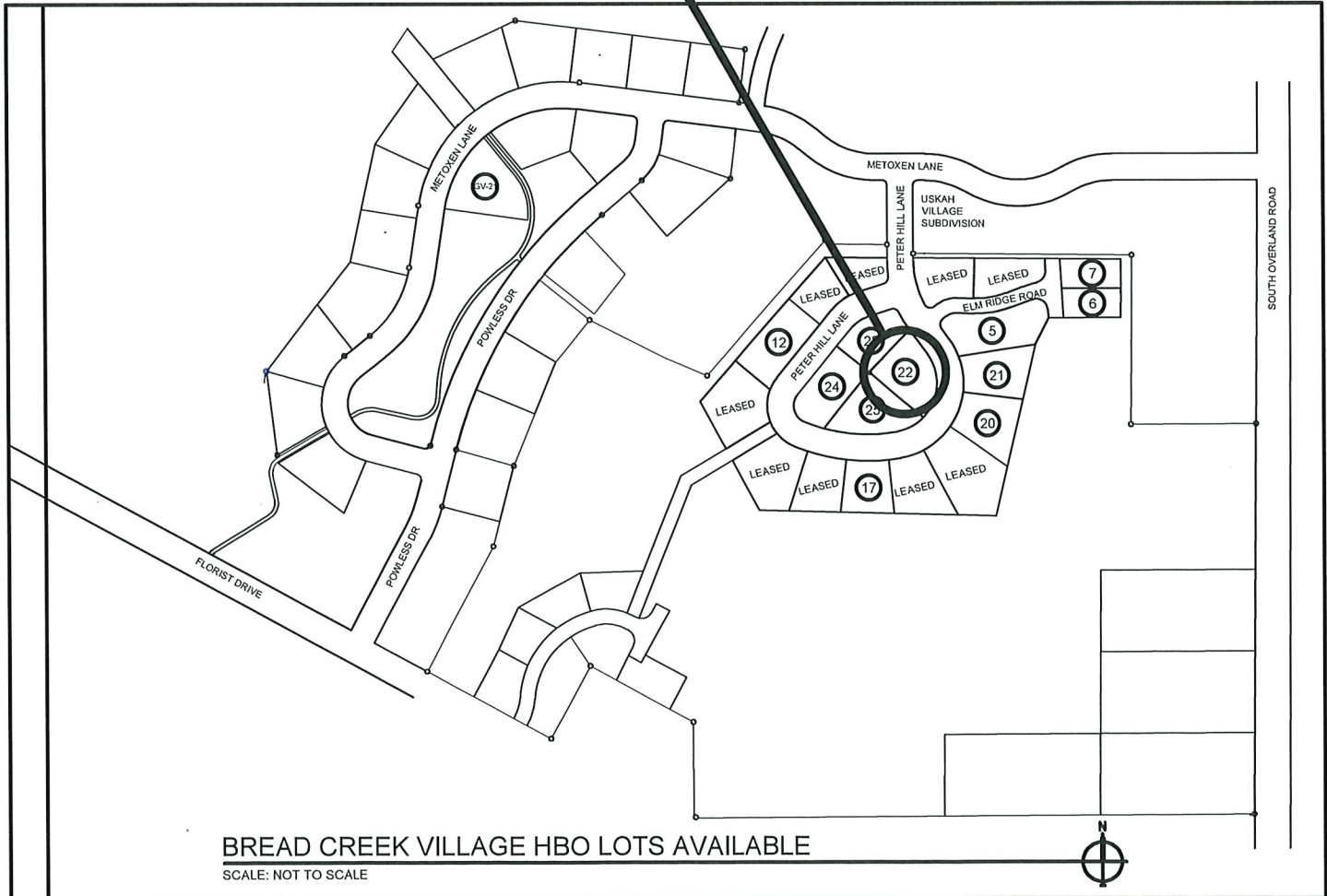


KEY:

	PROPERTY SETBACKS - BUILDABLE AREA
	DRIVEWAY - BUILDABLE AREA* *20' MAX. WIDTH, WITHIN THIS AREA

SITE PLAN

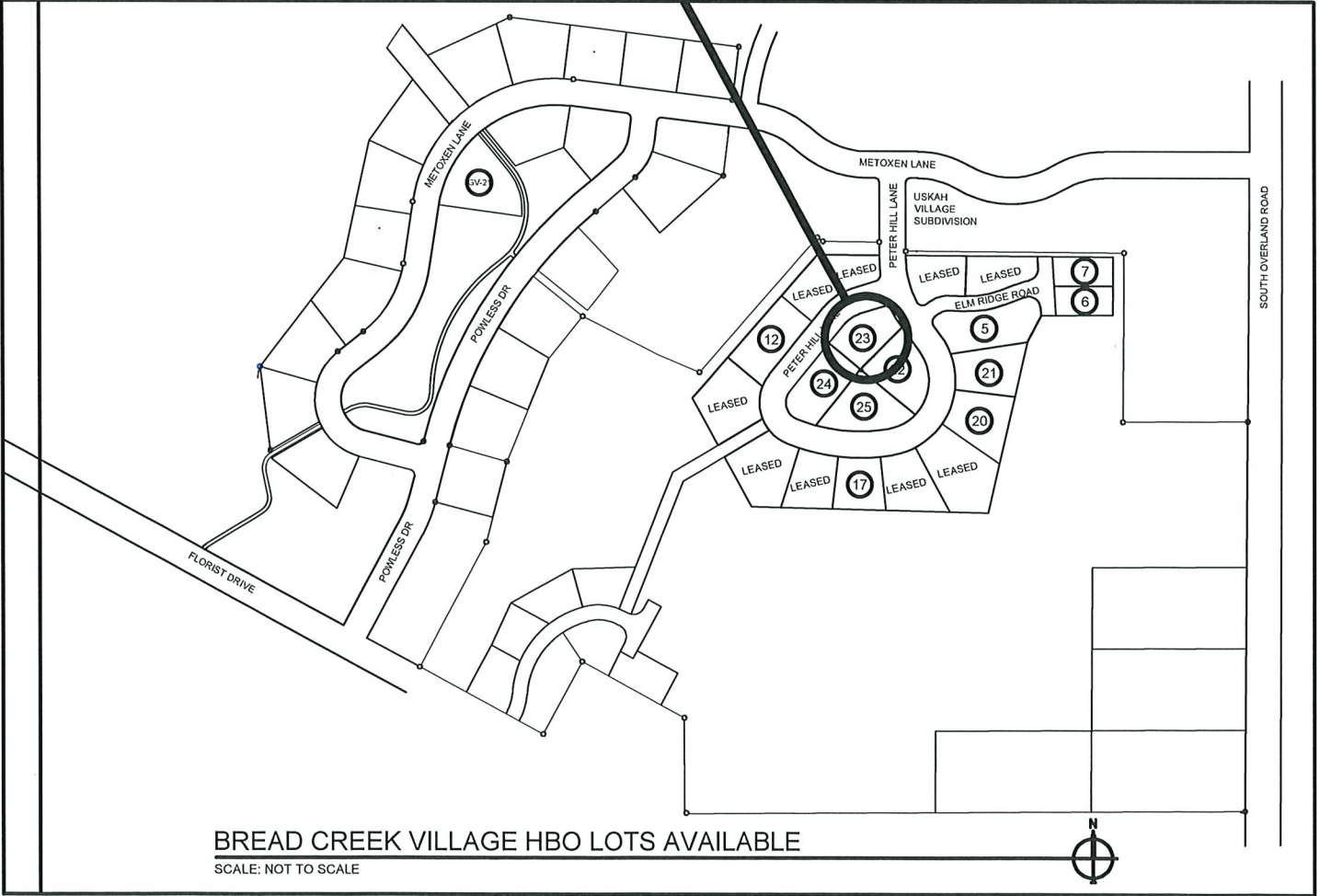
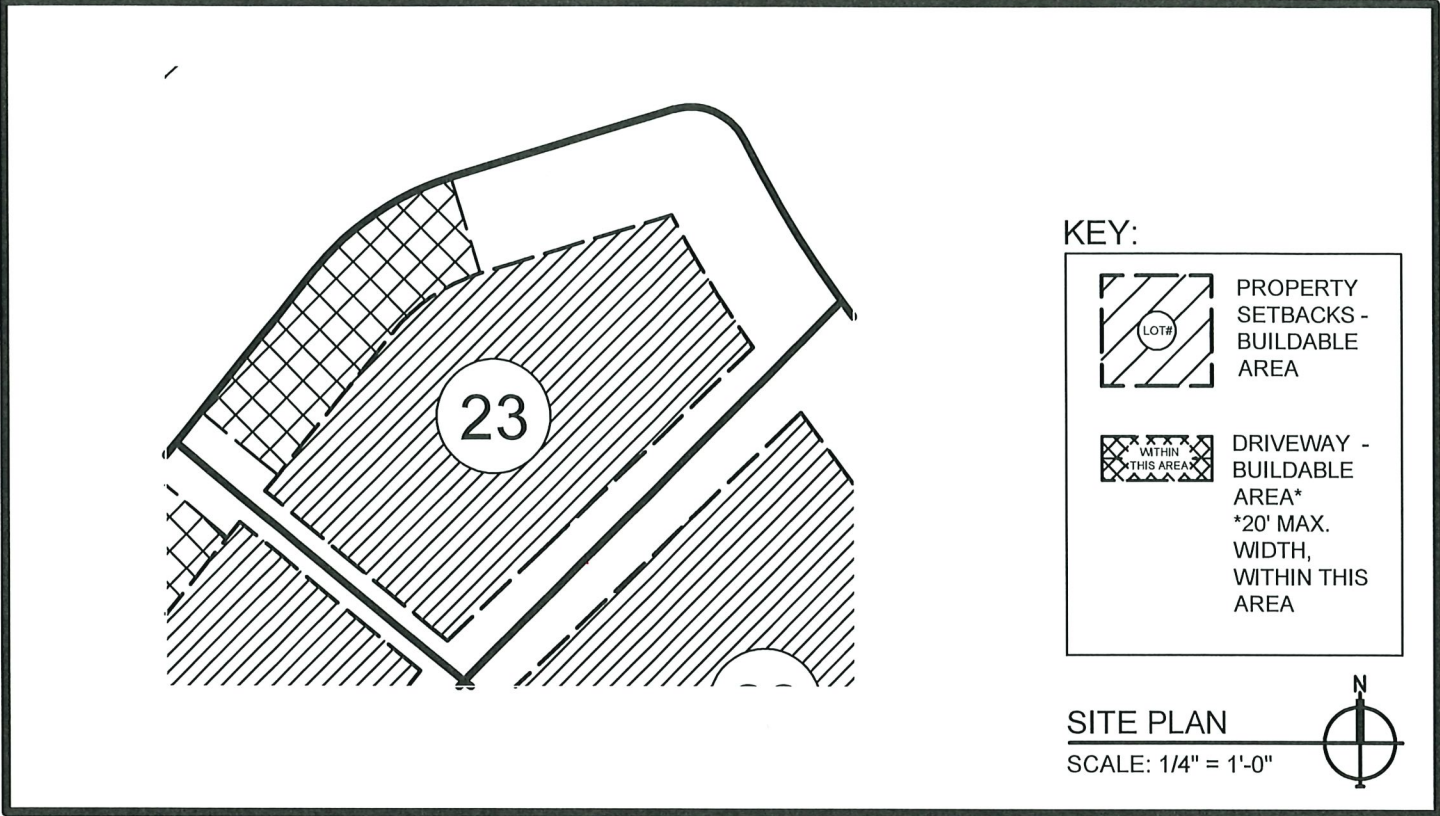
SCALE: 1/8" = 1'-0"



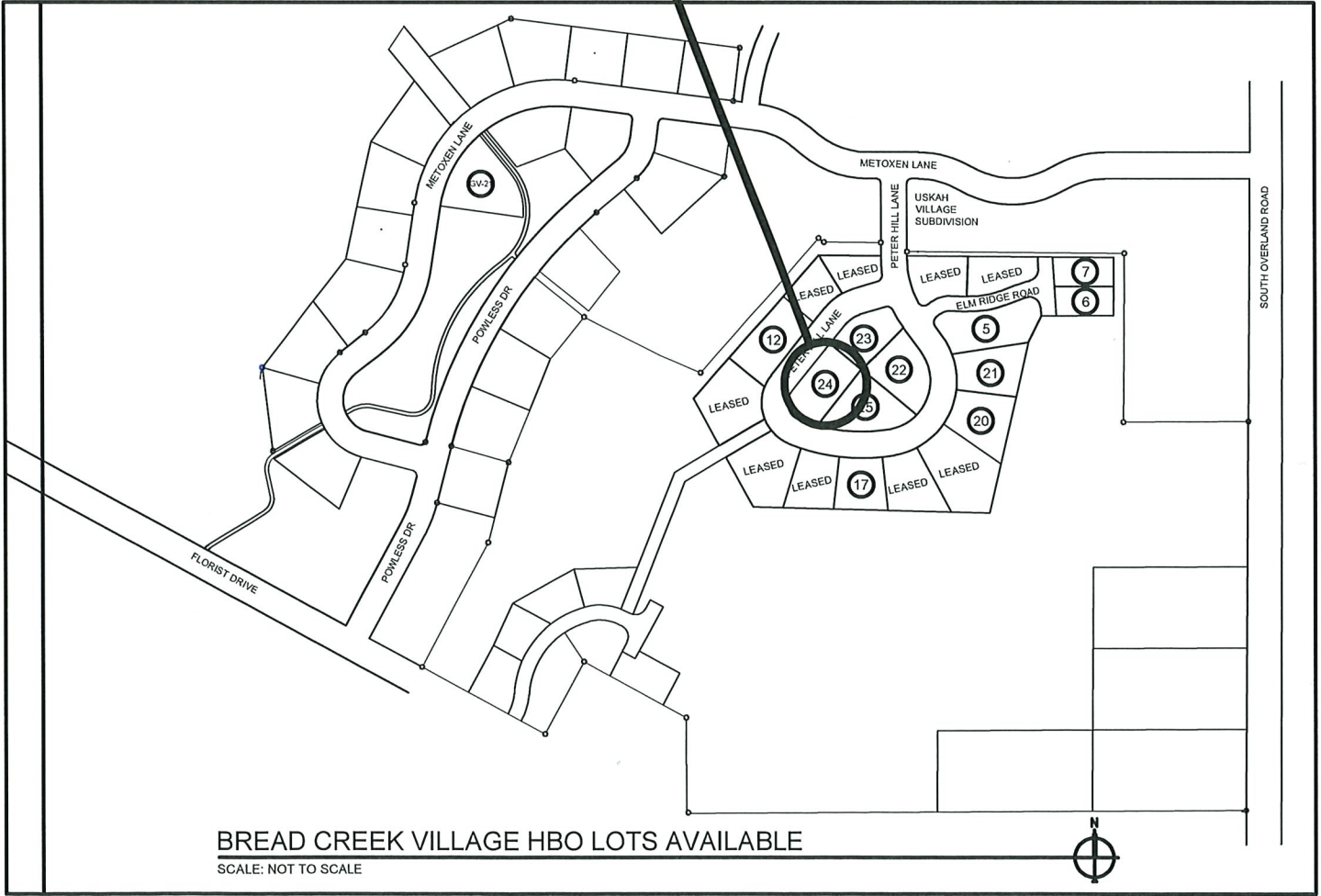
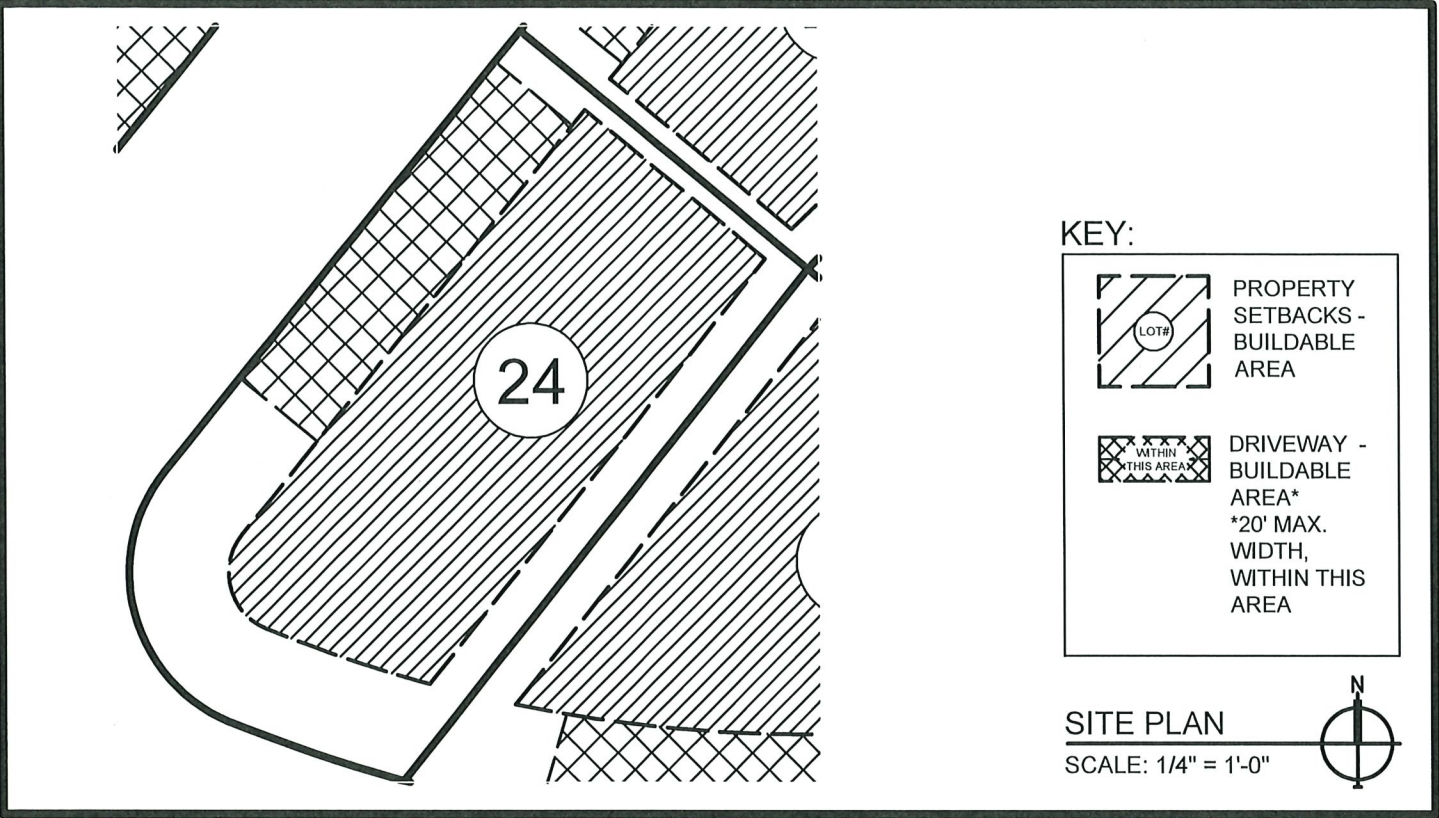
BREAD CREEK VILLAGE HBO LOTS AVAILABLE

SCALE: NOT TO SCALE

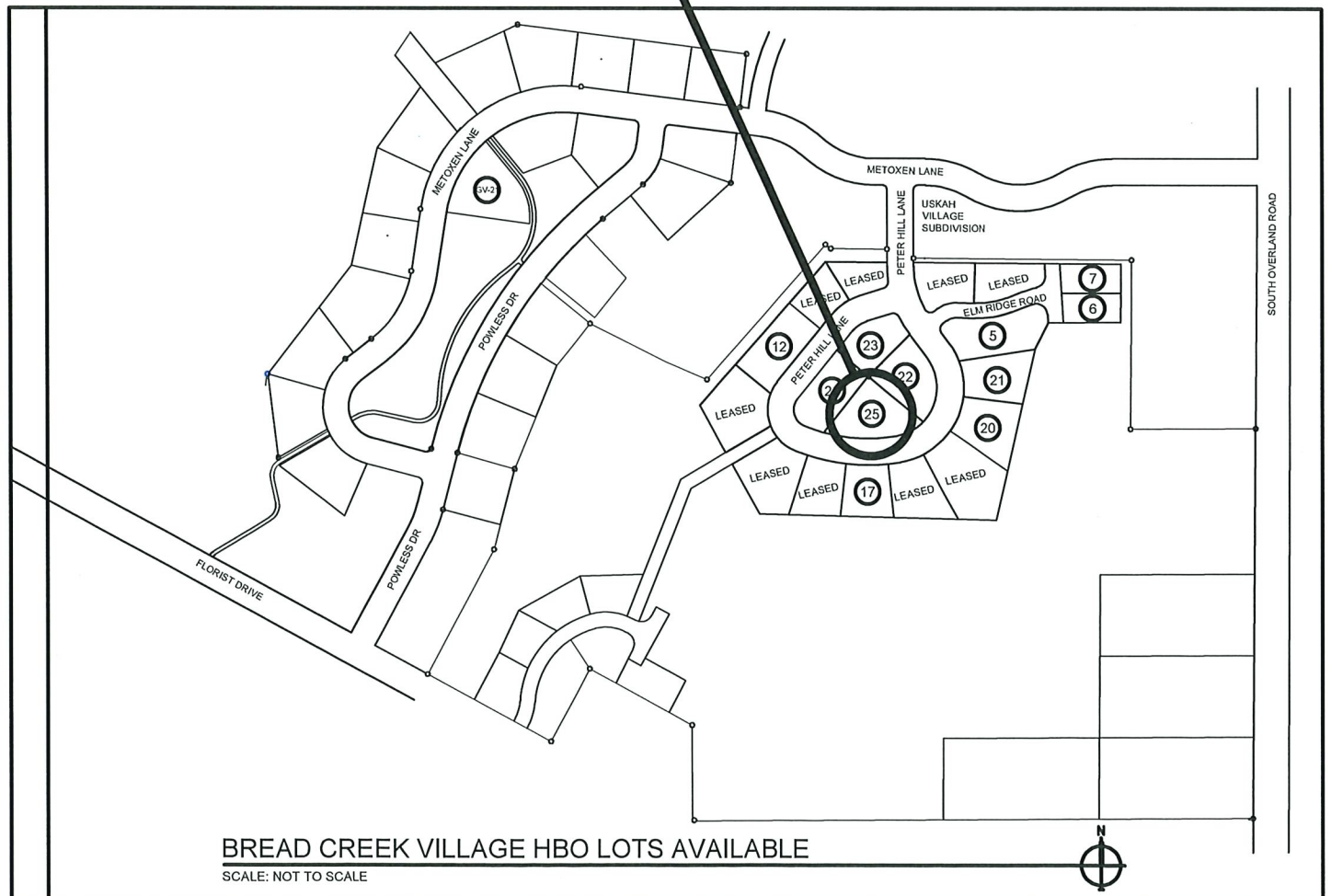
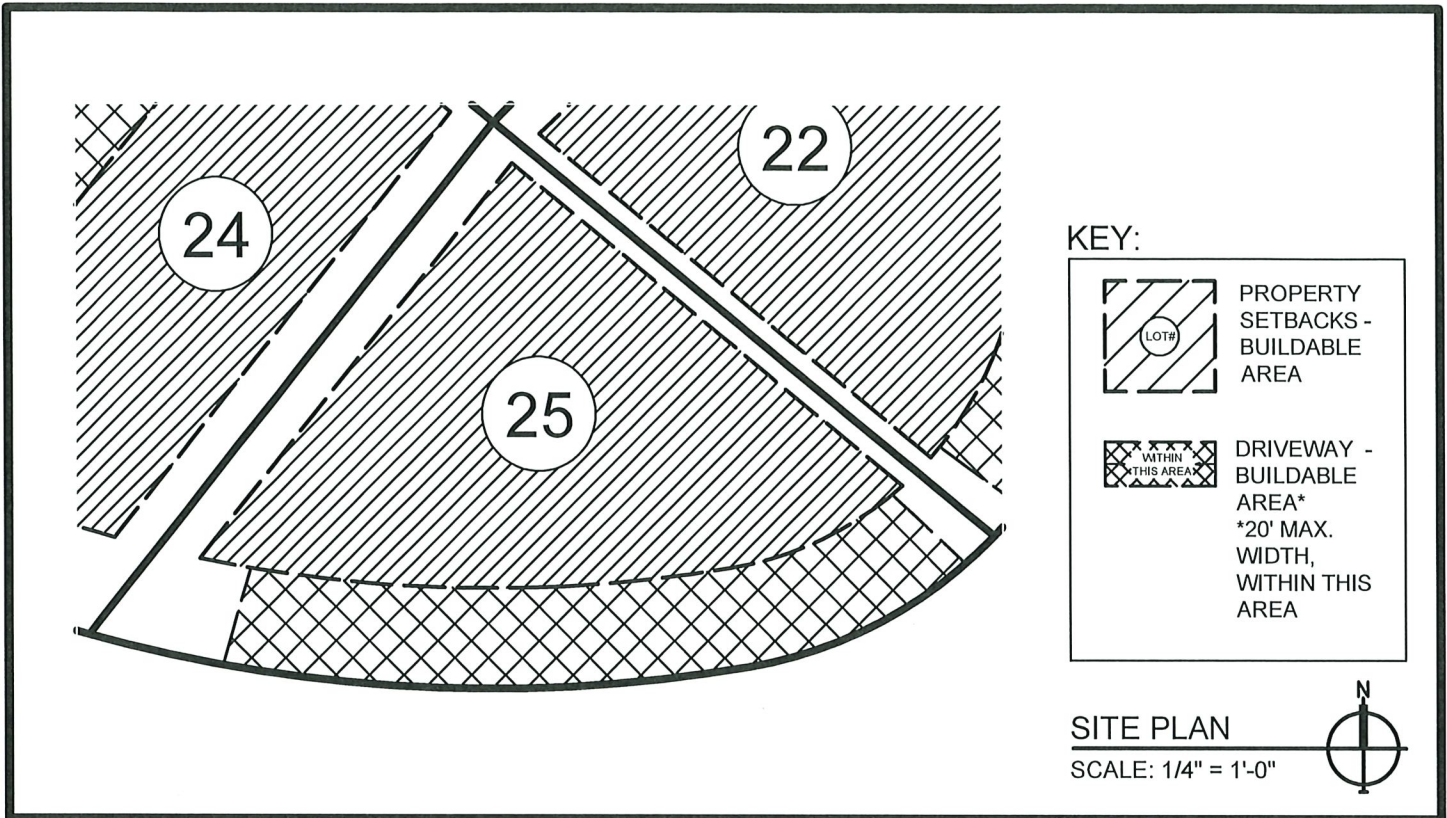
# BREAD CREEK VILLAGE LOT #23



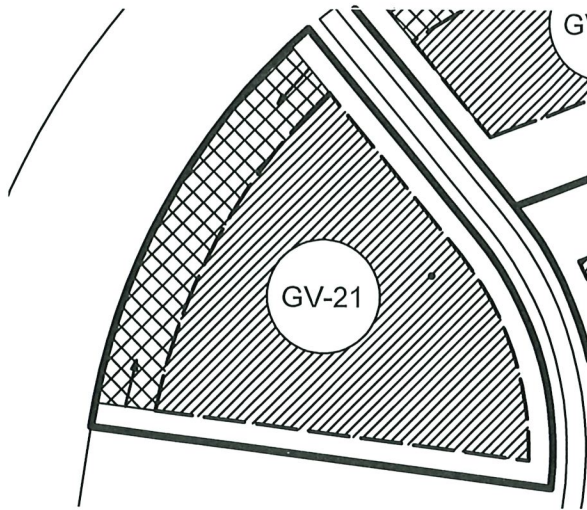
# BREAD CREEK VILLAGE LOT #24



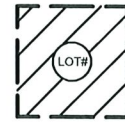
# BREAD CREEK VILLAGE LOT #25



# GREEN VALLEY LOT #21



KEY:



PROPERTY  
SETBACKS -  
BUILDABLE  
AREA



DRIVEWAY -  
BUILDABLE  
AREA\*  
\*20' MAX.  
WIDTH,  
WITHIN THIS  
AREA

SITE PLAN

SCALE: 1/4" = 1'-0"

