



Exterior View from Street



Hall to Living Room

## Building Data "N"

### Area:

Floor Plan HUD Liveable Gross Area: 887sf

Garage: Net Area: 321sf

### Building Use:

Single Family Residential Occupancy

### Code Compliance:

Uniform Dwelling Code-2016 (UDC) Amended

12 July 2017

ANSI ICC A117.1 2009

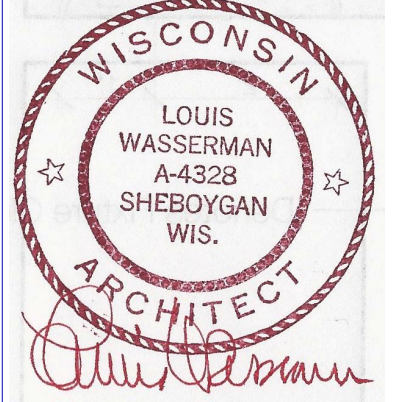
### Construction Type:

Type V

### ADA Access Route:

1/2" Maximum threshold where noted, all other flush.

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	22Feb2018	+Revisions
	17May2018	For Bidding

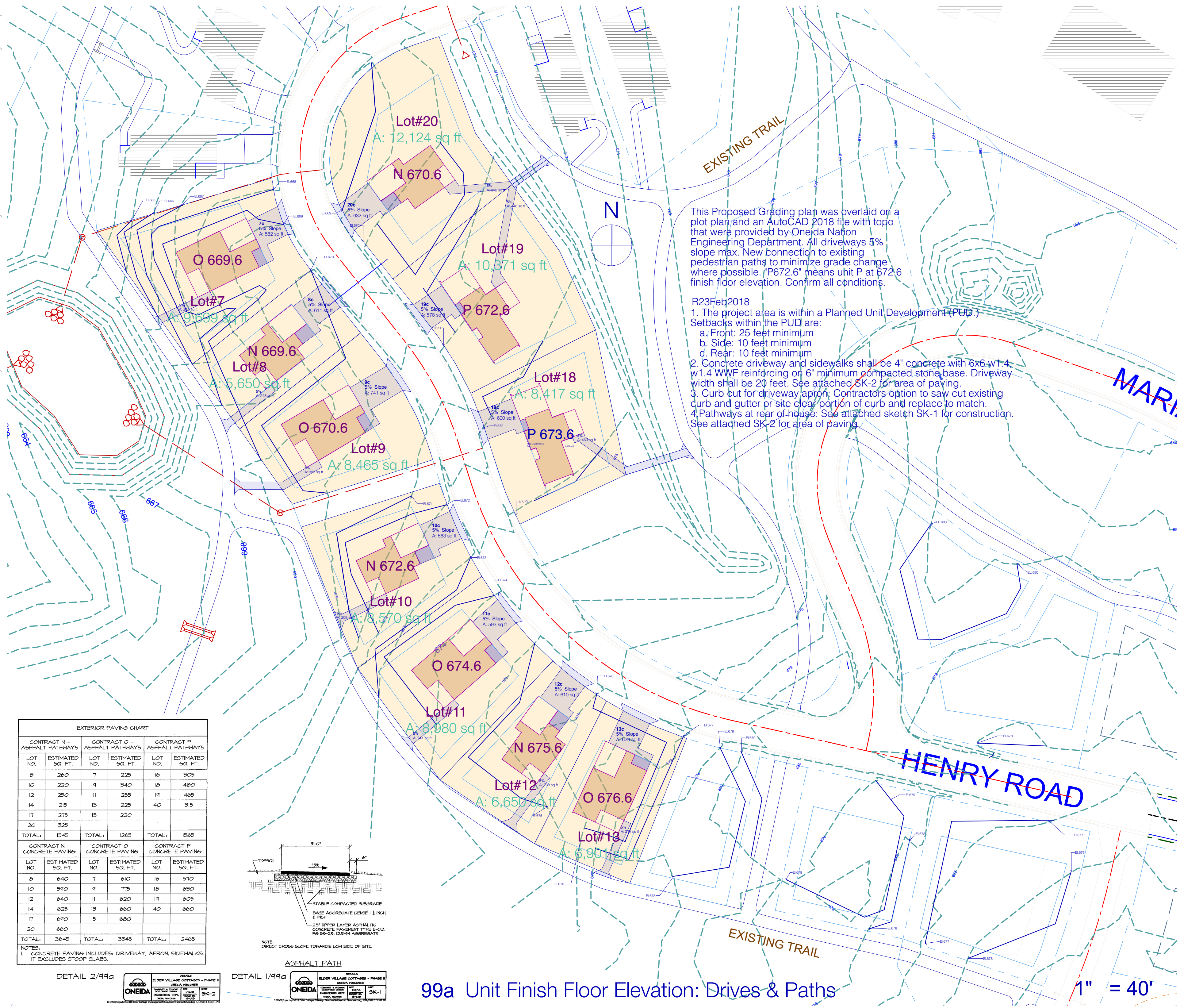
PROJECT NO: **201702n**  
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SHEET TITLE  
Title

**N98**

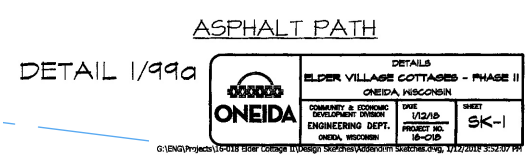
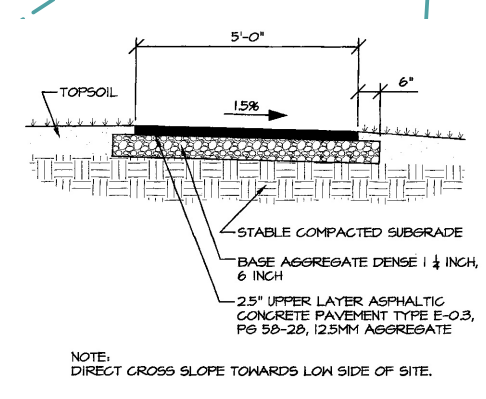


This Proposed Grading plan was overlaid on a plot plan and an AutoCAD 2018 file with topo that were provided by Oneida Nation Engineering Department. All driveways 5% slope max. New connection to existing pedestrian paths to minimize grade change where possible. "P672.6" means unit P at 672.6 finish floor elevation. Confirm all conditions.

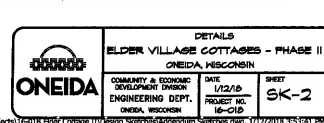
- R23Feb2018
- The project area is within a Planned Unit Development (PUD.) Setbacks within the PUD are:
    - Front: 25 feet minimum
    - Side: 10 feet minimum
    - Rear: 10 feet minimum
  - Concrete driveway and sidewalks shall be 4" concrete with 6x6 w/1.4 w/1.4 WWF reinforcing on 6" minimum compacted stone base. Driveway width shall be 20 feet. See attached SK-2 for area of paving.
  - Curb cut for driveway apron. Contractors option to saw cut existing curb and gutter or site clear portion of curb and replace to match.
  - Pathways at rear of house: See attached sketch SK-1 for construction. See attached SK-2 for area of paving.

EXTERIOR PAVING CHART					
CONTRACT N - ASPHALT PATHWAYS		CONTRACT O - ASPHALT PATHWAYS		CONTRACT P - ASPHALT PATHWAYS	
LOT NO.	ESTIMATED SQ. FT.	LOT NO.	ESTIMATED SQ. FT.	LOT NO.	ESTIMATED SQ. FT.
8	260	7	225	16	305
10	220	9	340	18	480
12	250	11	255	19	465
14	215	13	225	40	315
17	275	15	220		
20	325				
<b>TOTAL:</b>	<b>1545</b>	<b>TOTAL:</b>	<b>1265</b>	<b>TOTAL:</b>	<b>1565</b>
CONTRACT N - CONCRETE PAVING		CONTRACT O - CONCRETE PAVING		CONTRACT P - CONCRETE PAVING	
LOT NO.	ESTIMATED SQ. FT.	LOT NO.	ESTIMATED SQ. FT.	LOT NO.	ESTIMATED SQ. FT.
8	640	7	610	16	570
10	540	9	775	18	630
12	640	11	620	19	605
14	625	13	660	40	660
17	640	15	680		
20	660				
<b>TOTAL:</b>	<b>3845</b>	<b>TOTAL:</b>	<b>3345</b>	<b>TOTAL:</b>	<b>2465</b>

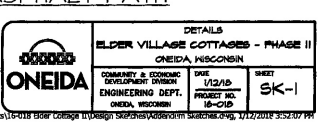
NOTES:  
1. CONCRETE PAVING INCLUDES DRIVEWAY, APRON, SIDEWALKS. IT EXCLUDES STOOP SLABS.



DETAIL 2/99a



DETAIL 1/99a



## 99a Unit Finish Floor Elevation: Drives & Paths

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/Users/louiswasserma.../Documents/LW Files/CURRENT PROJECTS 2017/OneidaArch/2018 ONEIDA/2018OneidaArchCad/2018OneidaArch/2018OneidaArchCAD16May2018.plt



This Plot Plan was provided by Oneida Nation Engineering Department. Confirm all conditions.

O.L. 3  
273718 S.F.

Finish Floor Elevations: Plots

1" = 40'



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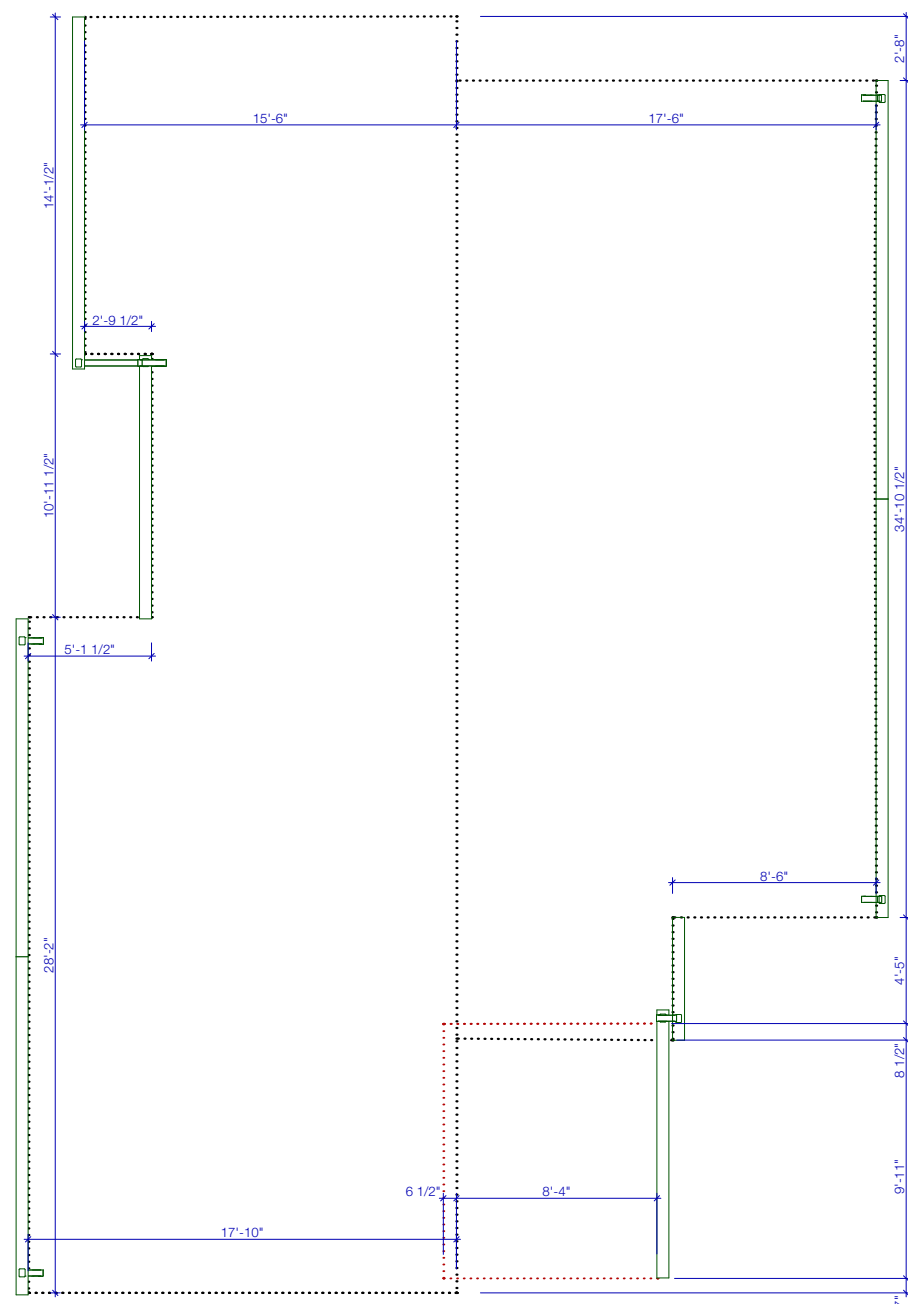
SHEET TITLE  
Plot

**N99b**

SHEET 54 OF 69







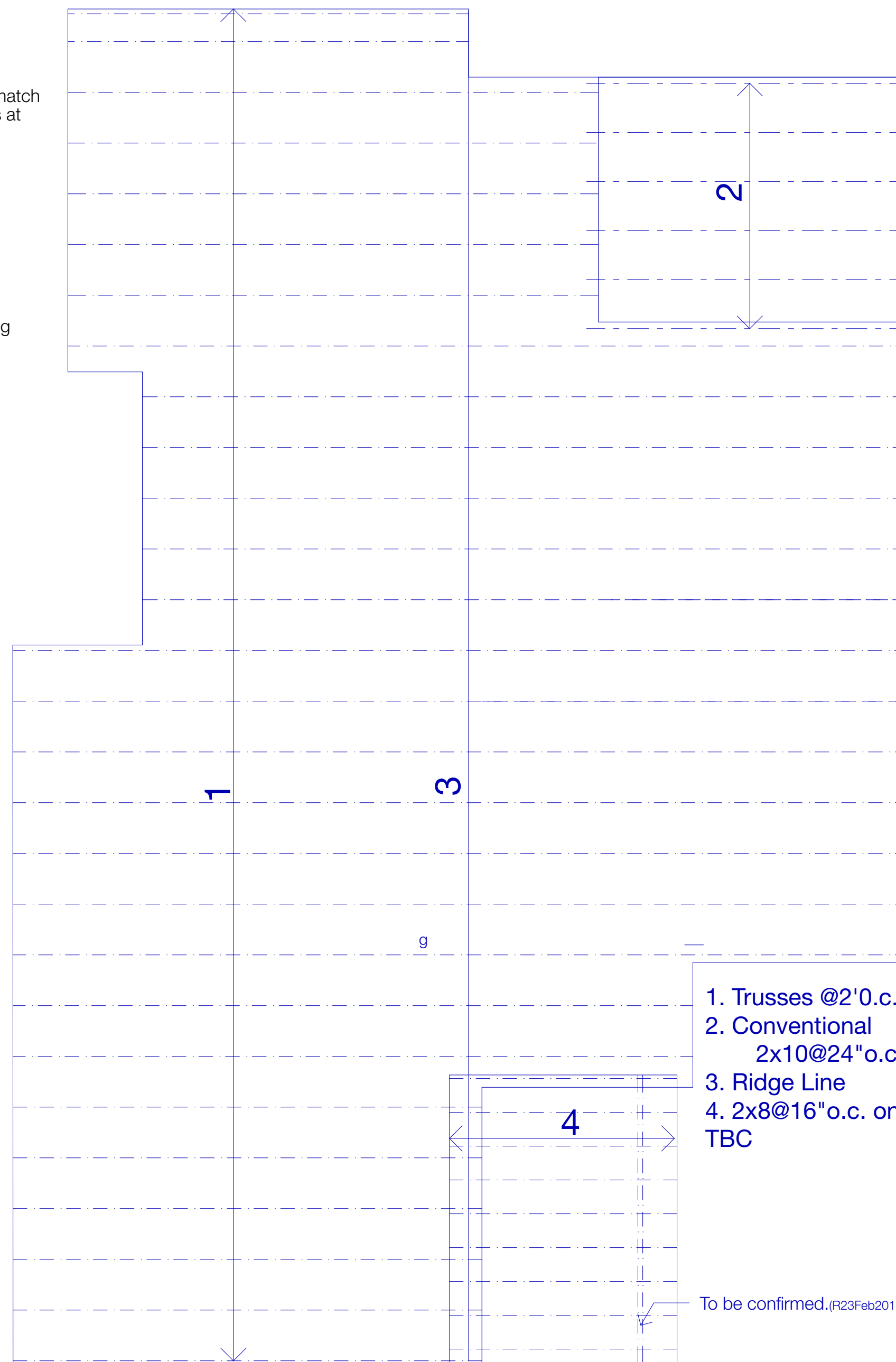
N121b Roof Plan w/Gutters 1/8" = 1'-0"

**Roof Notes**

1. Ridge vent. Color/Pattern to match roof.
2. Prefinished aluminum gutters(2a) and downspouts(2b). Color to match fascia and soffits. Provide splash blocks at all downspout outlets at grade.
3. Roofing system and color refer to specification.

**Roof Framing Notes**

1. This is a schematic framing layout for reference only.
2. To be engineered by State licensed truss or engineered lumber supplier to submit signed and sealed Shop Drawings and Calculation Sheets for review for general conformance to building design and performance.



N121a Roof Framing 1/4" = 1'-0"



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**PROJECT** Onieda Nation Elder Village Cottages  
**JOB NO.** J170496TPG **BY** TPG  
**DATE** 07-12-2017 **PAGE** 1

**I. LOADS**

**A. Residential Code- Environmental Loads**

1. Snow: 40 #/S.F.
2. Wind: 20 #/S.F.

**B. Dead Loads**

1. Truss System Roof with Shingles

Pitched Roof Loading (Top Chord)

- Shingles (two layers – future use) 4.0 #/S.F.
  - 1/2 " Wood Sheathing (O.S.B. or Plywood) 2.0 #/S.F.
  - Wood Truss spaced 24" o.c. 3.0 #/S.F.
  - Collateral 1.0 #/S.F.
- Dead Load Top Chord 10.0 #/S.F.**

Ceiling Loading (Bottom Chord)

- Insulation 2.0 #/S.F.
  - Gypsum Board 2.0 #/S.F.
  - Collateral 1.0 #/S.F.
- Dead Load Ceiling 5.0 #/S.F.**
- TOTAL DEAD ROOF LOAD 15.0 #/S.F.**

**C. Live Loads**

1. Living Areas: 40 #/S.F.
2. Parking Garage: 50 #/S.F.
3. Outdoor Deck (over 100 S.F.): 100 #/S.F.
4. Ceiling: 5 #/S.F.

**ONEIDA**  
Elder Village Cottages  
Phase II Project Number 16-018  
Cottage "N"  
charette

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P.O. Box 11138 Shorewood, WI 53211 phone 414 271-6474



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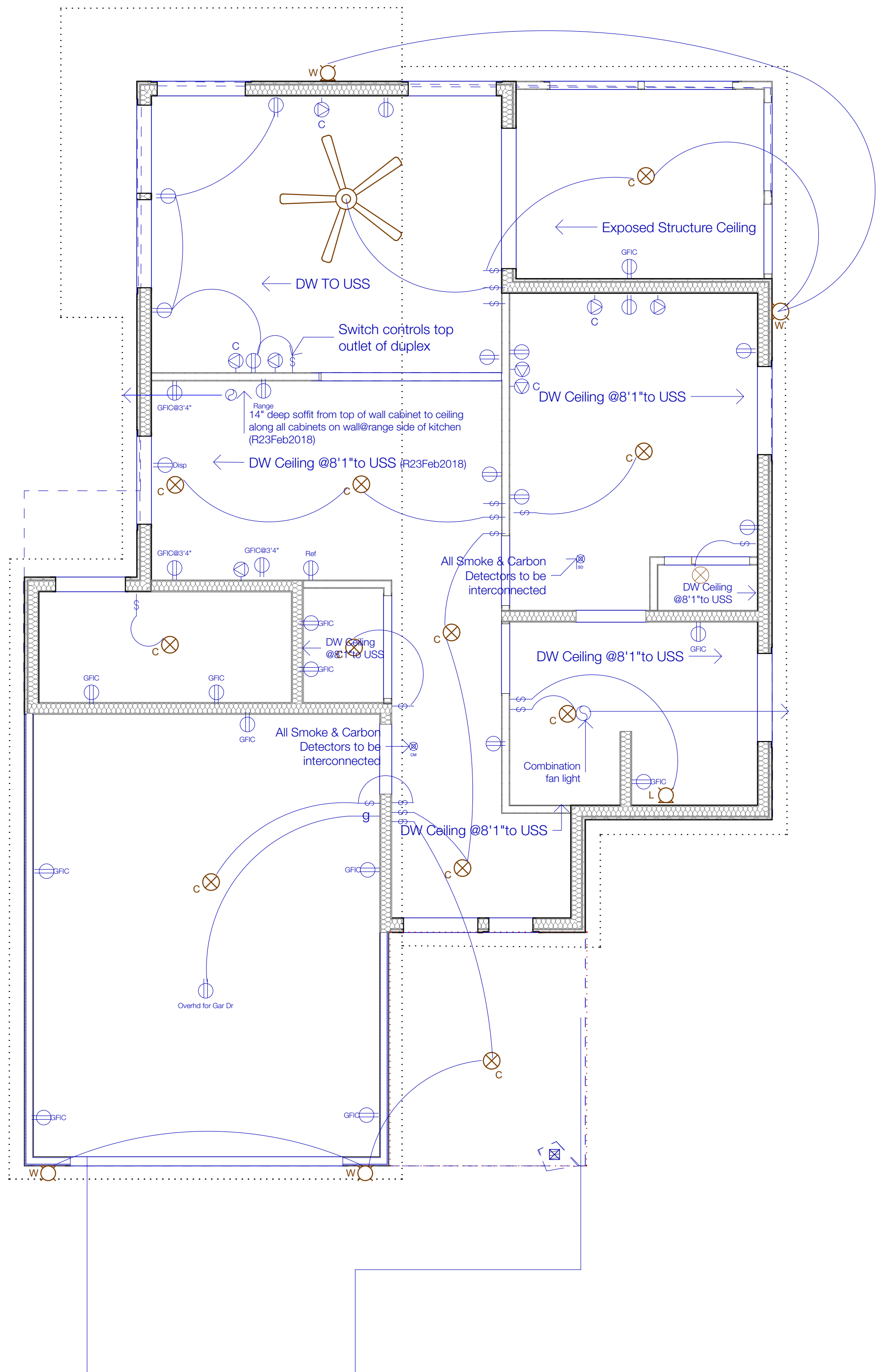
SHEET TITLE  
**Roof Plan & Frame**

**N121**

- g Garage Door Opener (R11May2018)
  - ⊕ Telephone Outlet (R23Feb2018)
  - c ⊕ Cable Outlet (R23Feb2018)
  - ⊕ Fan Unit
  - ⊕ Switch
  - ⊕ Duplex Outlet
  - ⊕ GFCI Duplex Outlet
- Confirm aff with ADA reqmts

**Reflected Ceiling Plan Key**

- ⊕<sub>P</sub> Pendant
- ⊕<sub>R</sub> Recessed Can
- ⊕<sub>U</sub> Uplight Spot
- ⊕<sub>TS</sub> Track Spot
- ⊕<sub>C</sub> Ceiling Mnt
- 1x4 Fluorescent/LED
- 4' strip Fluorescent/LED
- Undercab linear Fluorescent/LED
- 4' to 8' Track
- Sconce by type
- Smoke Detection
- Carbon Monoxide
- Ceiling Fan w/Light Kit
- All Smoke & Carbon Detectors to be interconnected.



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SHEET TITLE  
**Elect Plan w/RCP**

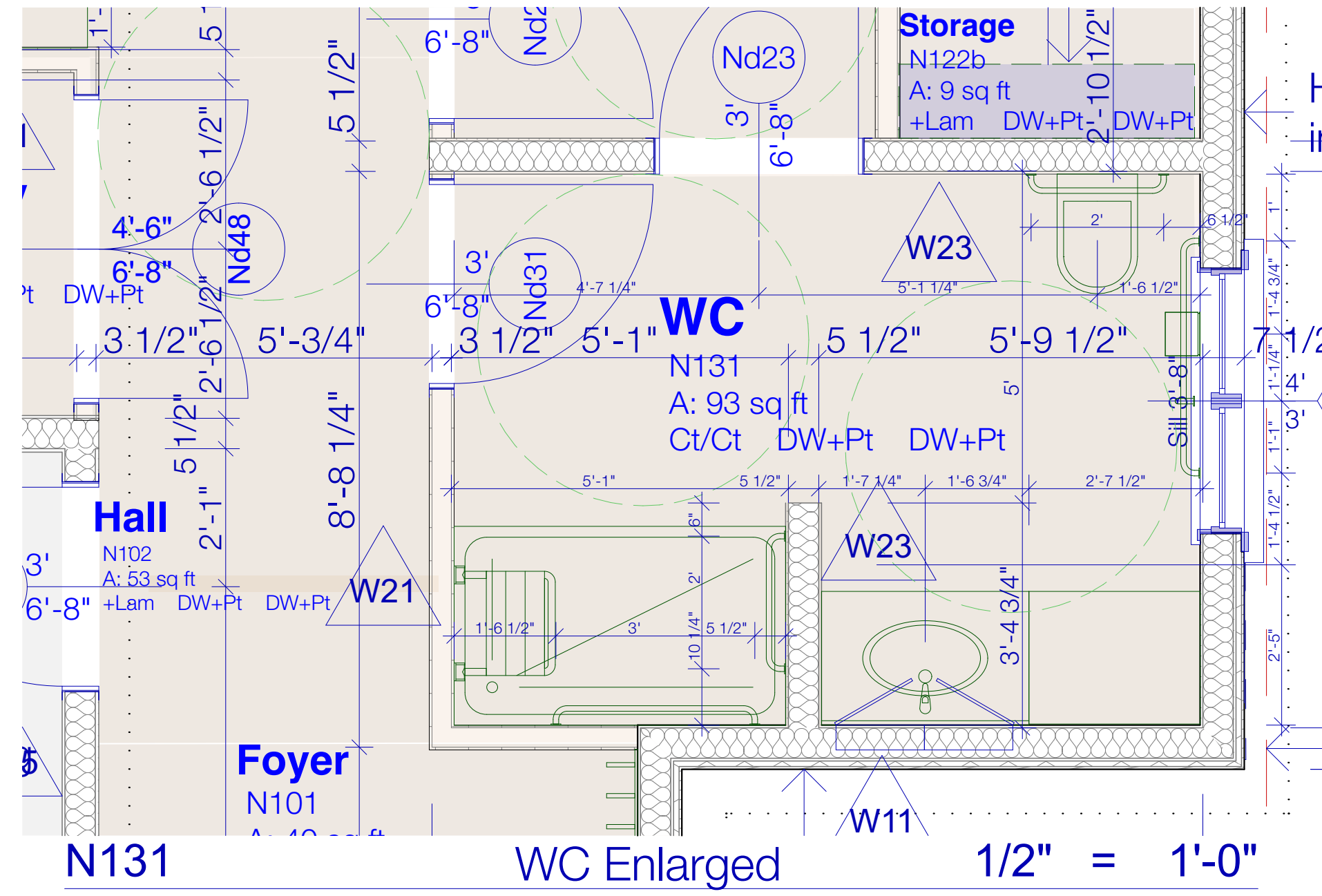
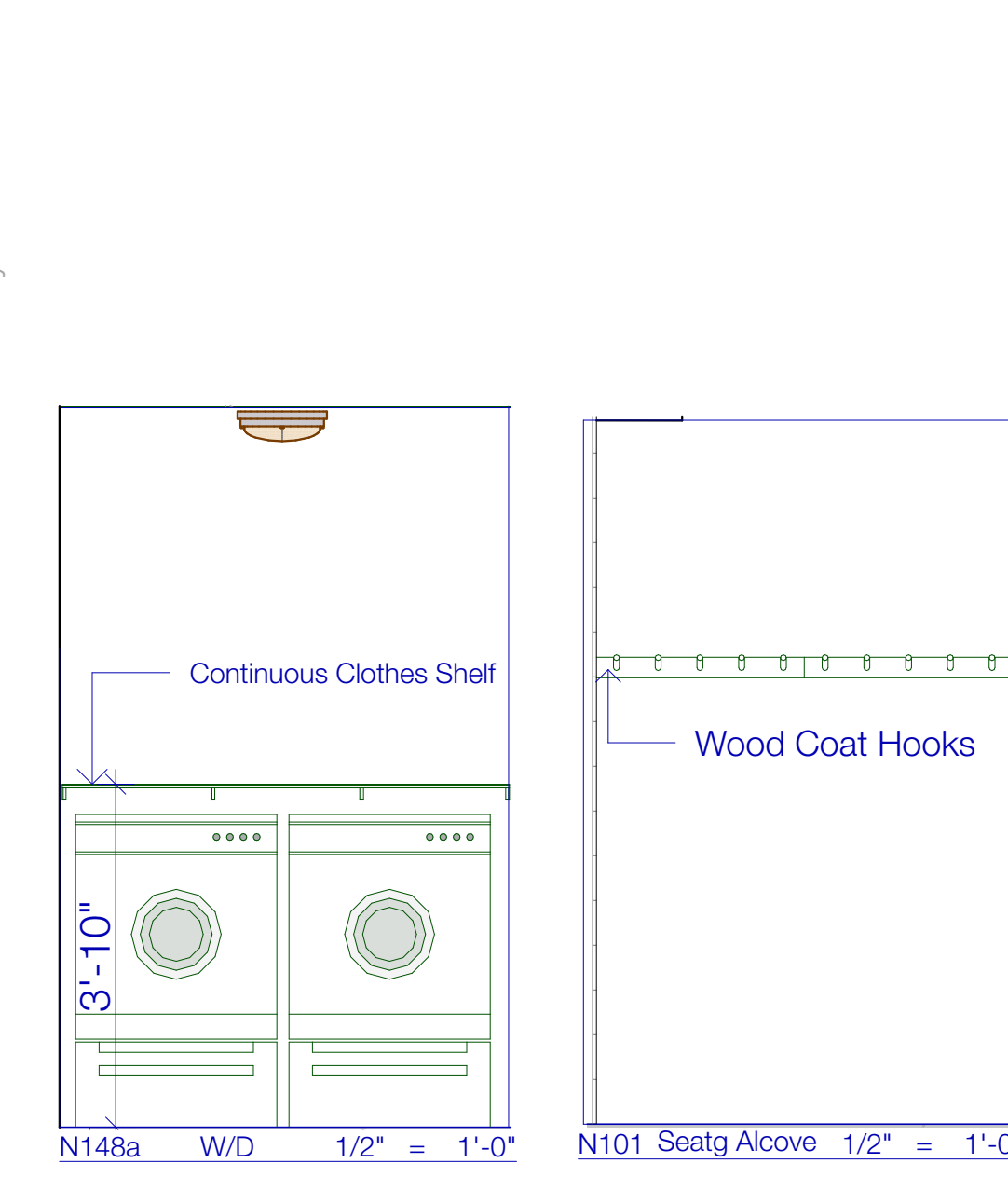
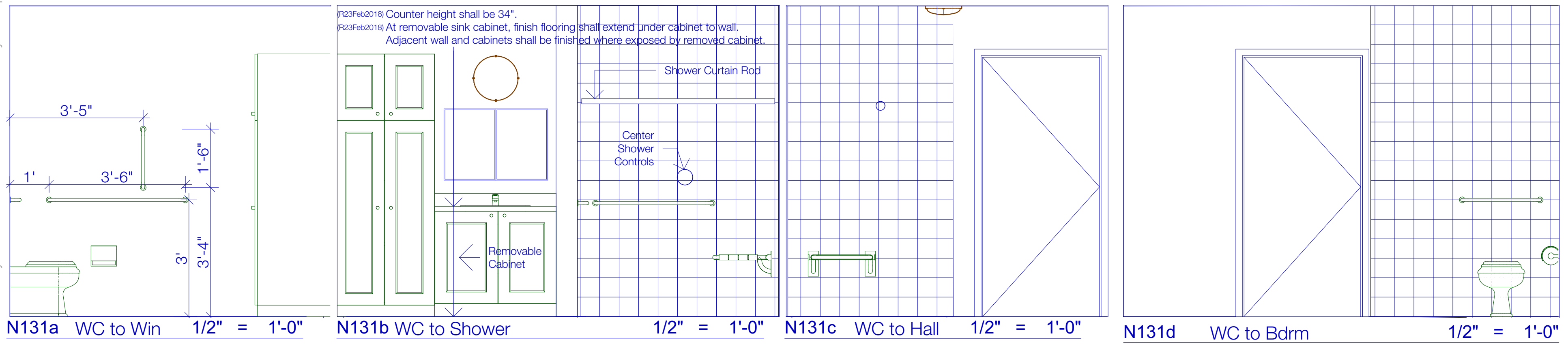
**N141**







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- INTERIOR ELEVATIONS - GENERAL NOTES
- A. Unassigned.
  - B. Provide scribes and fillers as required at all locations where casework meets adjoining wall. apply sealant at junction.
  - C. See specifications for additional requirements.
  - D. See room finish and materials schedule for product types, finish, color and material selections.
  - E. Round all outside corners of countertops with a minimum 1/2" radius unless noted otherwise.
  - F. Provide exterior grade plywood subsurface at all countertops adjacent to a sink.
  - G. Provide 2 adjustable wood shelves in all casework unless noted otherwise.
  - H. All base cabinets to be 24" deep and upper cabinets to be 12" deep unless noted otherwise. Note removable base unit @ sink
  - I. Provide sealant between all backsplashes, countertops and walls.
  - J. Provide full extension glides at all drawers, pull out trays and accessories.
  - K. All casework to be solid maple. doors and drawers to be "shakerstyle"
  - L. All door and drawer pulls per spec. (R23Feb2018)
  - M. Provide ADA compliant faucets at all sinks.
  - N. Install all required ADA accessories per the current edition of ANSI ICC A177.1.
  - O. Provide blocking @ all Grabs.
  - P. At shower include 12"x12"x3" tiled recessed niche in wall. Location as confirmed by Owner & Architect. (R23Feb2018)

**ONEIDA**  
 Elder Village Cottages  
 Phase II Project Number 16-018  
 Cottage "N"

charette

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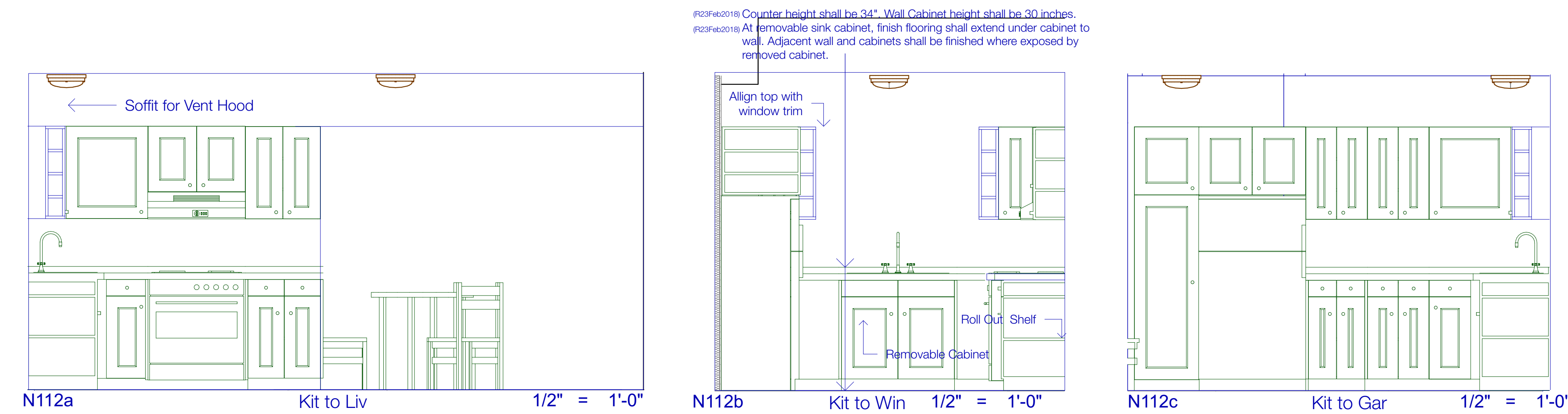
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SHEET TITLE  
**Interior Elevations**

**N211**

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DOOR SCHEDULE from lizzDoor Schedule to Excel to Pdf NU						
ID	Qty	Nom W x H Size	Orientation	W/D nom head ht	W/D nom sill ht	Zone see Plan
Nd01	1	3'x6'-8"	L	6'-8"	0	Foyer
Nd11	1	6'x6'-8"	L	6'-8"	0	Living/dining
Nd14	1	3'x6'-8"	L	6'-8"	0	Porch Exterior
Nd22	1	3'x6'-8"	R	6'-8"	0	Bedroom
Nd23	1	3'x6'-8"	R	6'-8"	0	WC to Bedroom
Nd24	1	3'-6"x6'-8"	L	6'-8"	0	Bedroom Closet
Nd30	1	3'x6'-8"	R	6'-8"	0	Mech/Stor
Nd31	1	3'x6'-8"	L	6'-8"	0	WC
Nd48	1	4'-6"x6'-8"	L	6'-8"	0	Wash/Dry
Nd50	1	3'x6'-8"	R	6'-8"	0	Hall to Garage
Nd51	1	12'x7'		7	0	Garage
Opg	1	8'-2 1/4"x6'-8"		6'-8"	0	Kitchen Portal to Liv/Din

@Entry Door Provide Screen Door with combination storm

Wood Screen Door w/aluminum screen, wood to painted.

### Window Schedule

ID	Qty	Nom W x H Size	Orientation	W/D nom sill ht	W/D nom hd ht	Operation
Ns14a	1	4'x5'		1'-8"	6'-8"	
Ns14b	1	4'x5'		1'-8"	6'-8"	
Ns14c	1	4'x5'		1'-8"	6'-8"	
Nw01	1	2'x5'		1'-8"	6'-8"	
Nw01	1	2'x5'	R	1'-8"	6'-8"	→ (R23Feb2018)
Nw11a	1	4'x5'		1'-8"	6'-8"	
Nw11b	1	4'x5'		1'-8"	6'-8"	
Nw11c	1	4'x5'		1'-8"	6'-8"	
Nw11d	1	4'x5'		1'-8"	6'-8"	
Nw12	1	4'x3'-2"		3'-6"	6'-8"	
Nw22	1	4'x3'		3'-8"	6'-8"	
Nw31	1	4'x3'		3'-8"	6'-8"	

### Finish Schedule

Zone Number	Zone Name	Calculated Area	Ceiling	Floor/Base	Walls/Wainscot
N101	Foyer	39.50	DW+Pt	+Lam	DW+Pt
N102	Hall	53.06	DW+Pt	+Lam	DW+Pt
N111	Living/dining	224.31	*DW+Pt	+Lam	DW+Pt
N112	Kitchen	122.50	DW+Pt	+Lam	DW+Pt
N114	Screen Porch	95.88	Ply/ExpStruc+Pt	Exp Con	Ply+Pt
N122	Bedroom	149.70	DW+Pt	+Lam	DW+Pt
N122b	Storage	8.75	DW+Pt	+Lam	DW+Pt
N131	WC	92.89	DW+Pt	Ct/Ct	DW+Pt
N133	Mech/Stor	58.71	DW+pt	Ex Conc	DW+pt
N148	WashDry	19.06	DW+Pt	+Lam	DW+Pt
N151	Garage	321.40	DW+Pt	Ex Conc	DW+Pt
N151b	Safe Room	23.97	DW+Pt	Ex Conc	DW+Pt

Note: See Interior Elevations N211 for wall tile

(R23Feb2018)

(R23Feb2018) Note: See Interior Elevations N211 for wall tile

(R23Feb2018)

(R23Feb2018)

(R23Feb2018)



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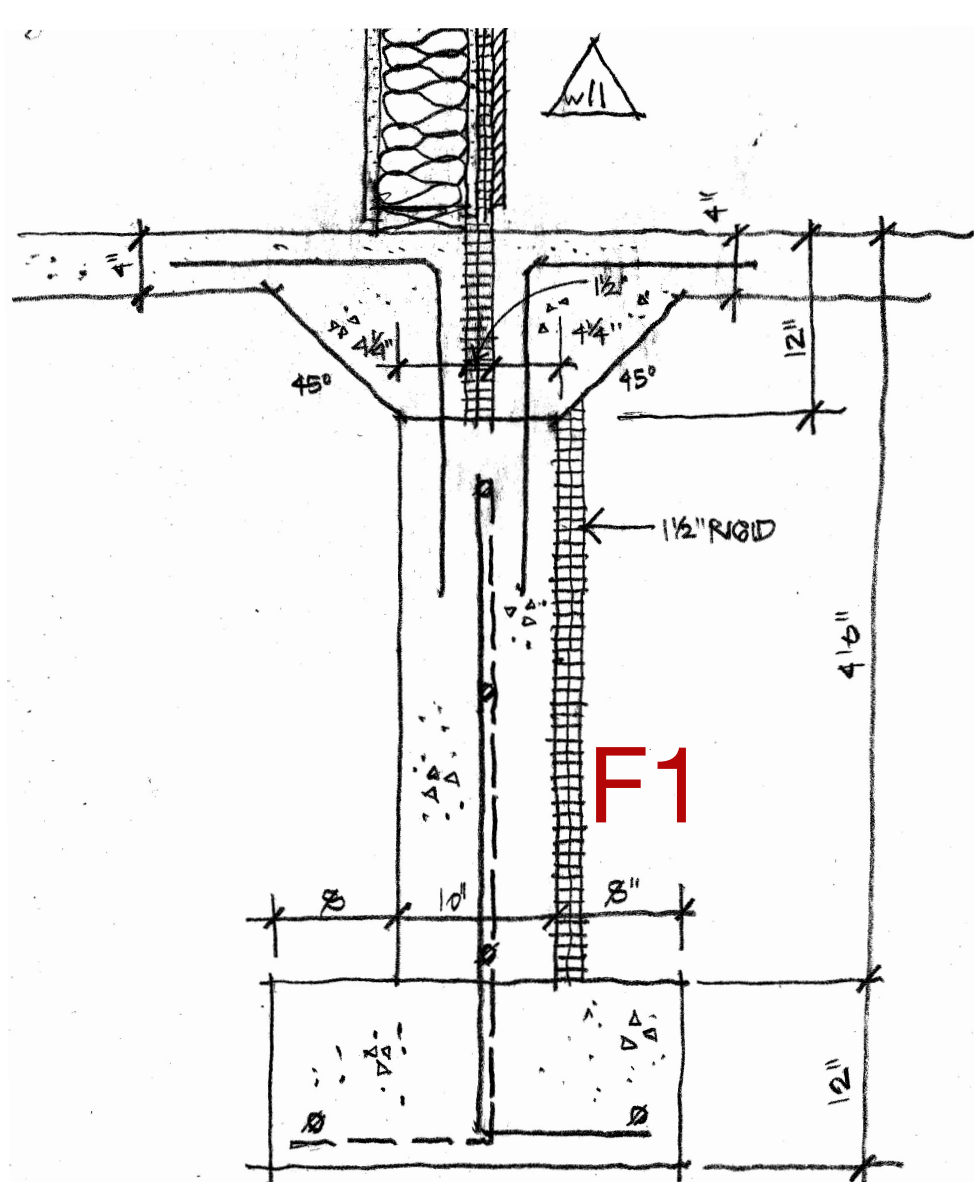
Schedules

**N401**

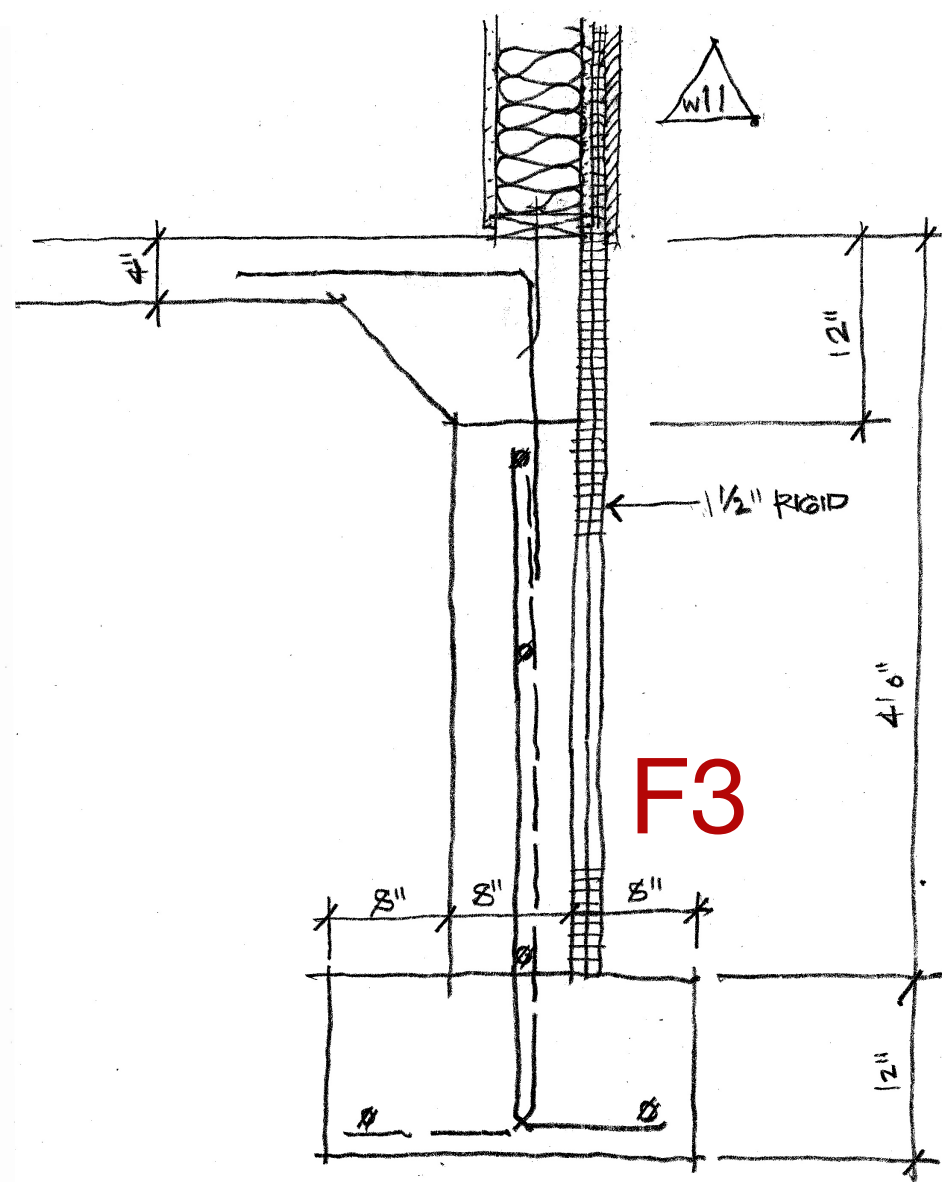
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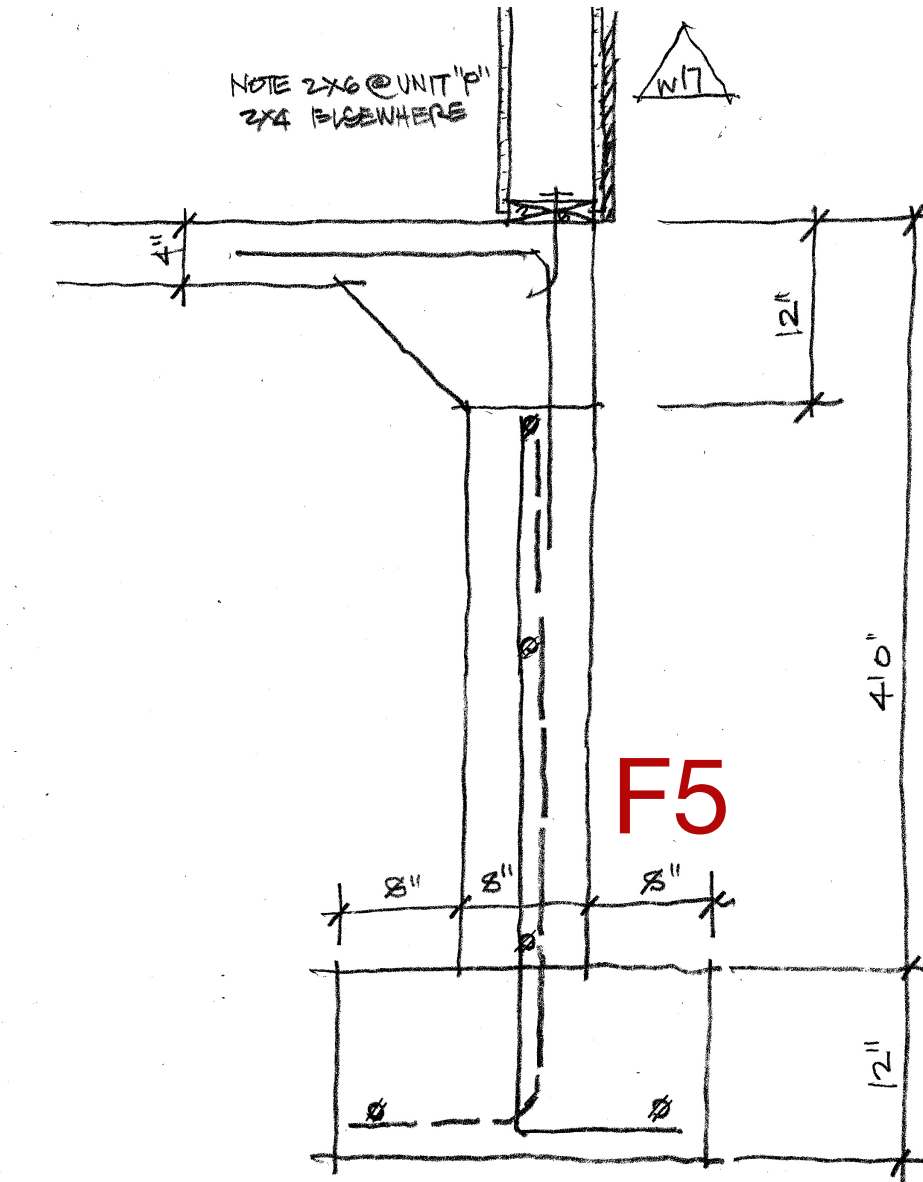
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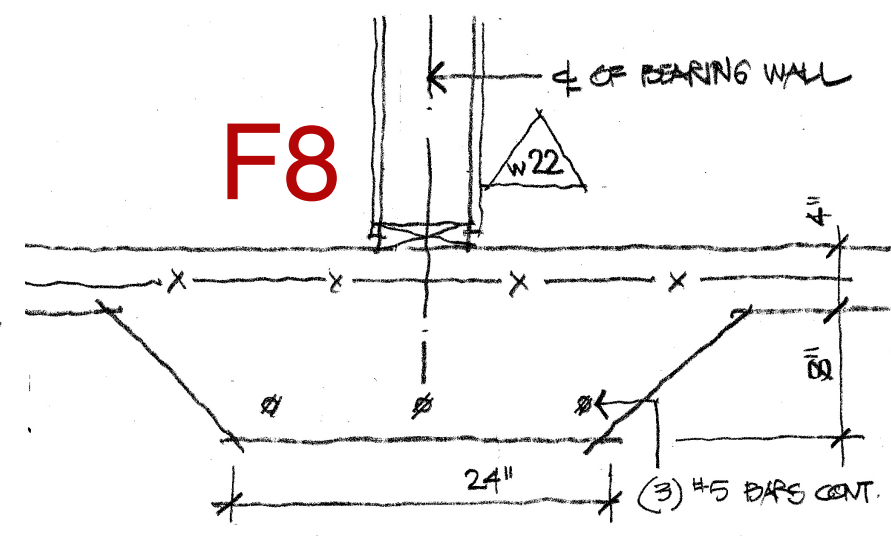
**F1** INSULATED WALL @ PORCH  
SCALE 1/2" = 1'-0" R23Jan2018



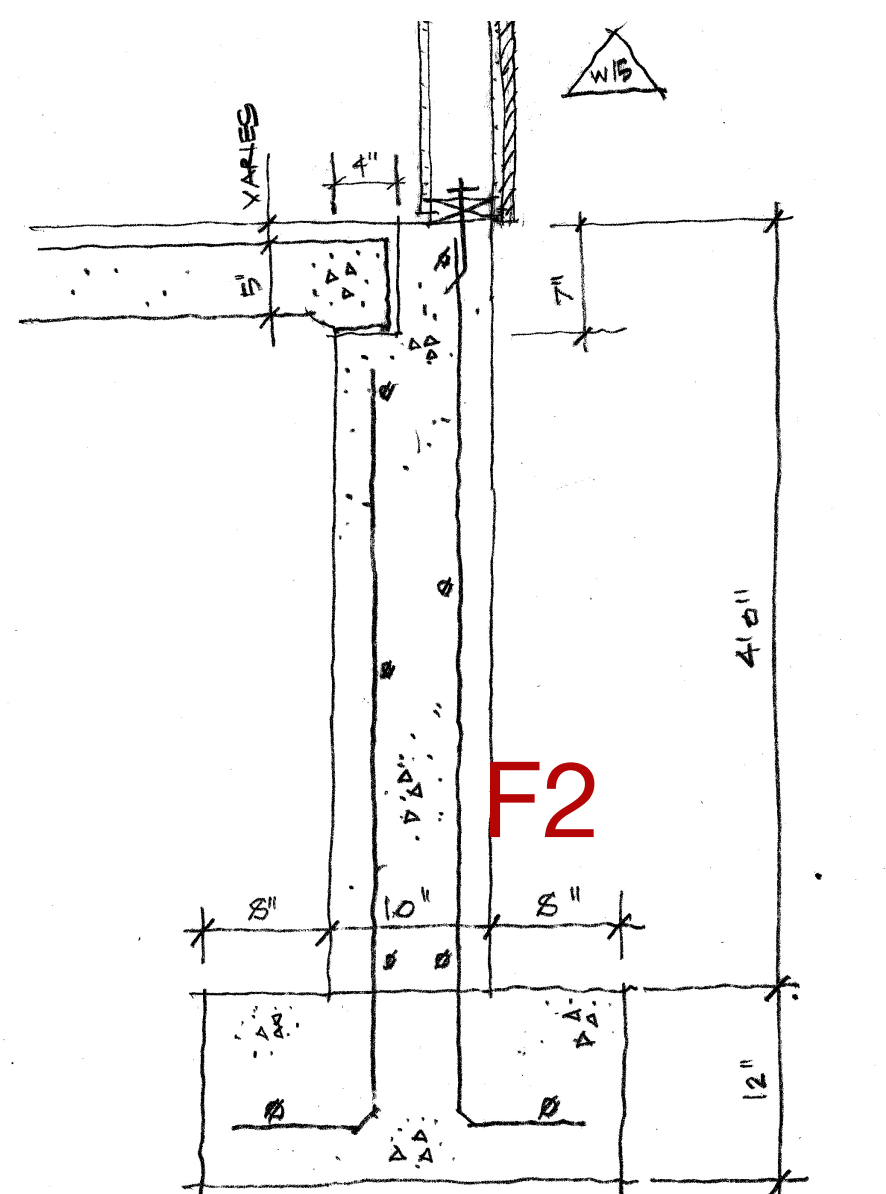
**F3** TYPICAL EXT. WALL  
SCALE 1/2" = 1'-0" R23Jan2018



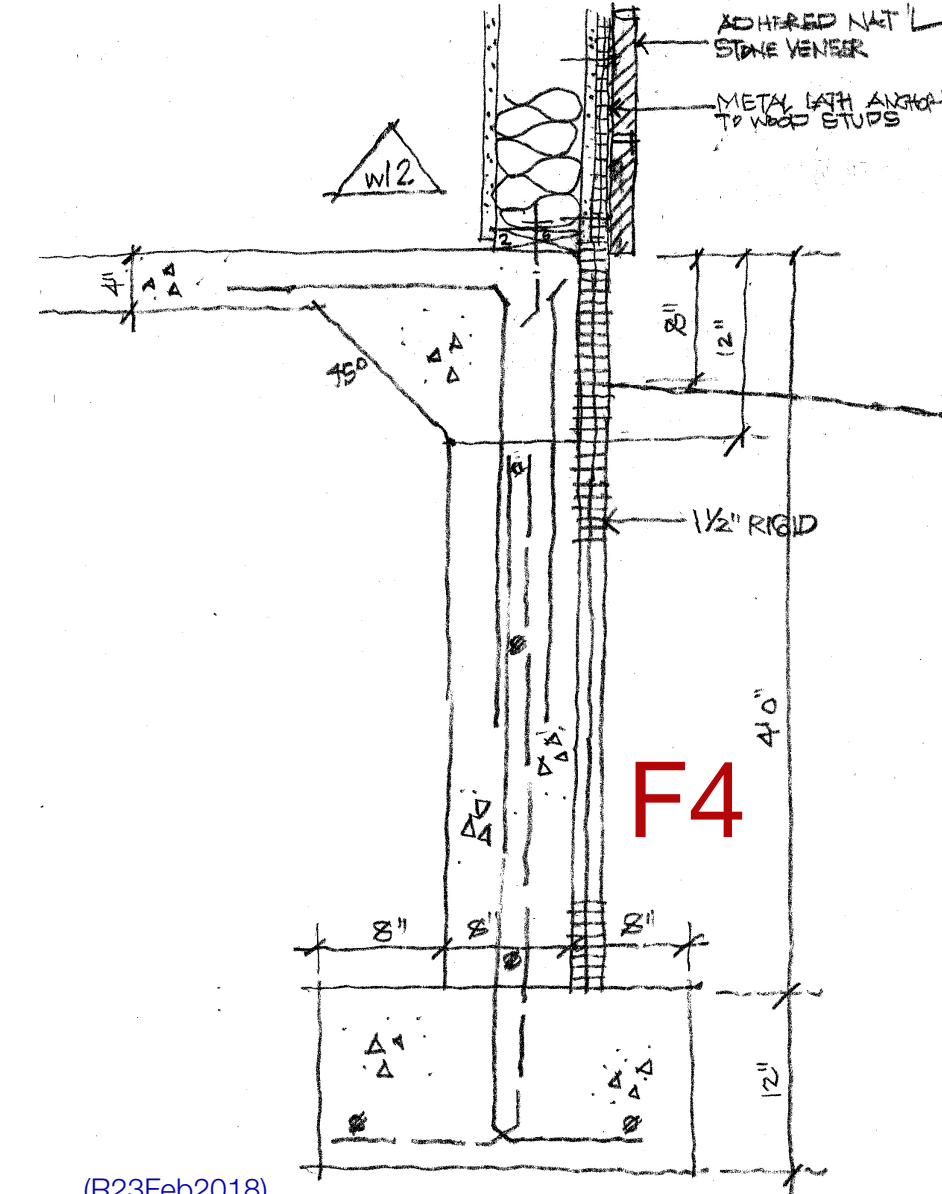
**F5** EXTERIOR WALL @ SCR. PORCH  
SCALE 1/2" = 1'-0" 27Jun2017



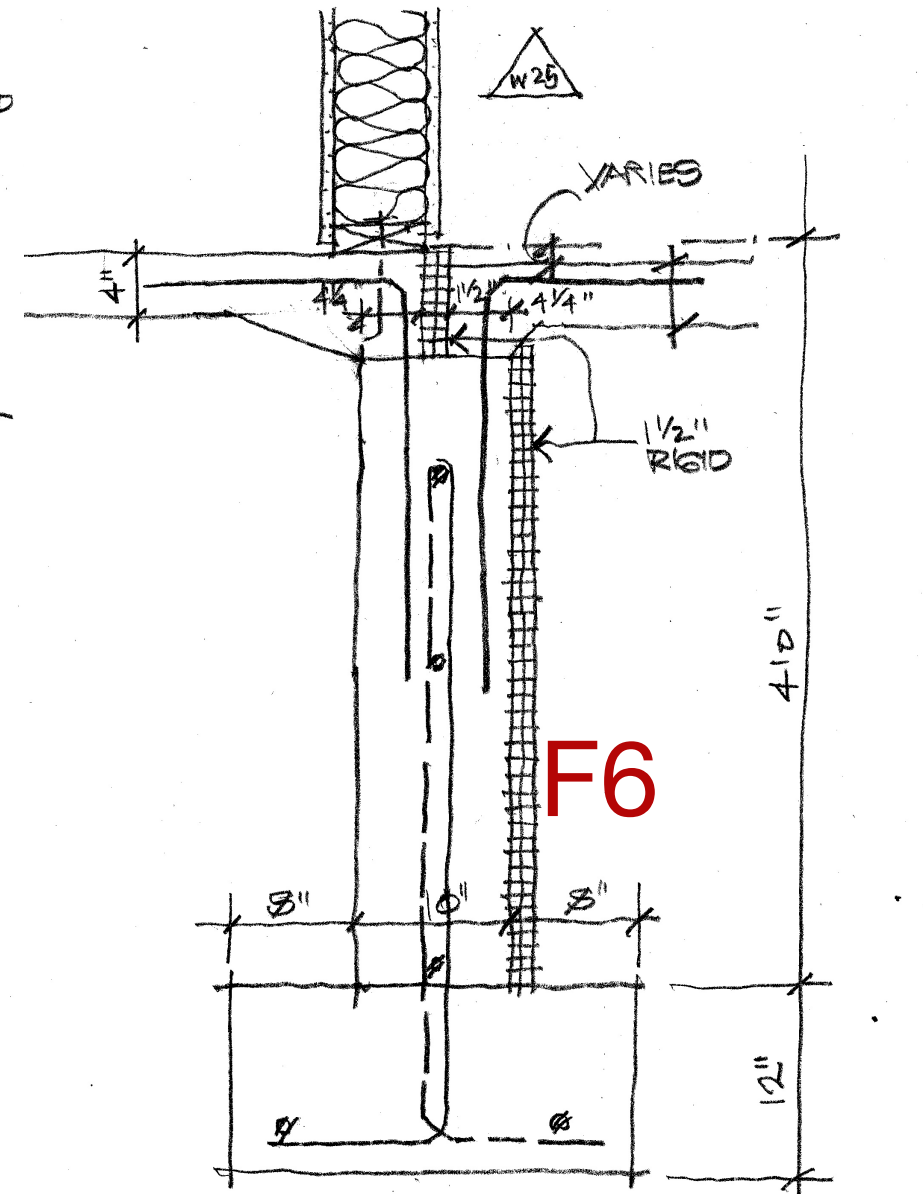
**F8** THICKENED SLAB @ BRG. WALL  
SCALE 1/2" = 1'-0" 14Jul2017



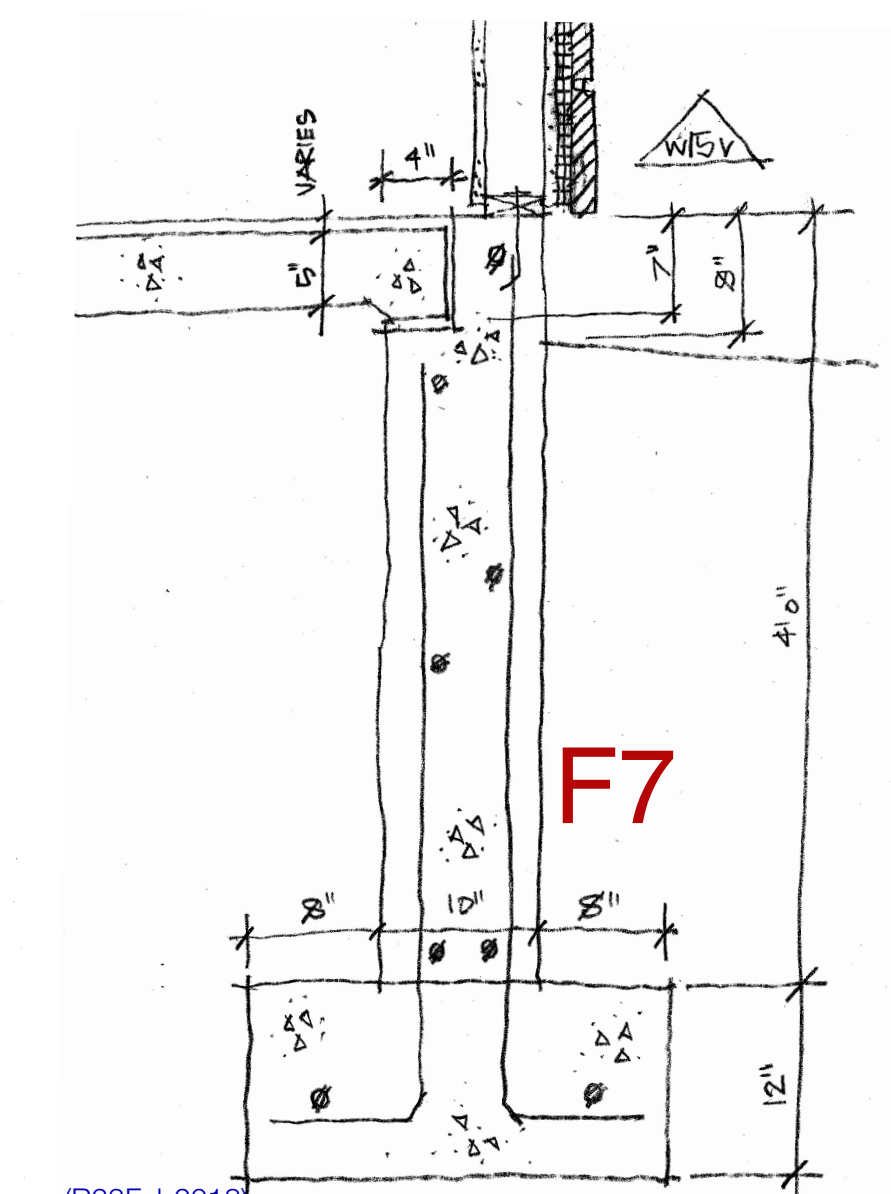
**F2** EXTERIOR GARAGE WALL  
SCALE 1/2" = 1'-0" R23Jan2018



**F4** EXT WALL W/ MASONRY  
SCALE 1/2" = 1'-0" R23Jan2018



**F6** INTERIOR WALL @ GARAGE  
SCALE 1/2" = 1'-0" R23Jan2018



**F7** EXT. GARAGE WALL + VENEER  
SCALE 1/2" = 1'-0" R22Jan2018

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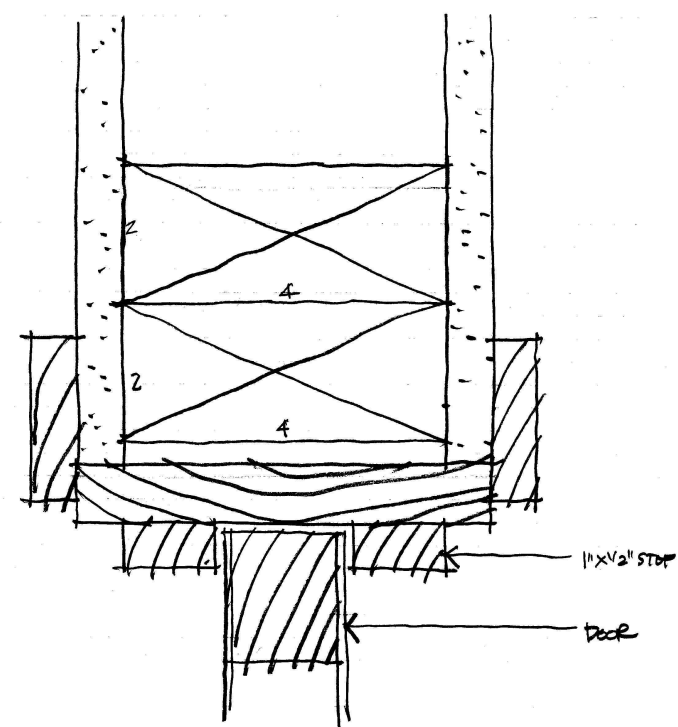
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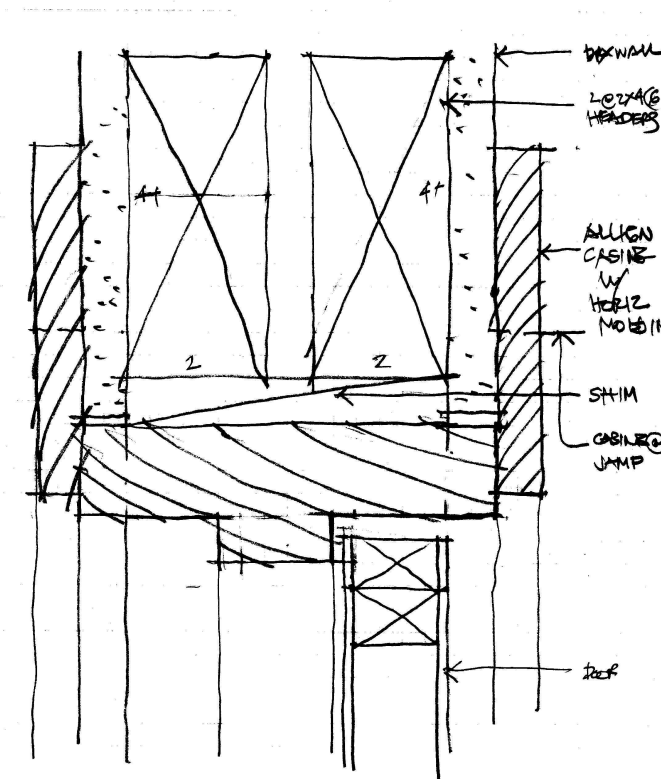
N98	Title
N99a	Finish Floor
N99b	Plot
N100	Foundation Plan
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N201	Elevations
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N702	Outline Spec
N703	Outline Spec

SHEET TITLE  
Exterior Details

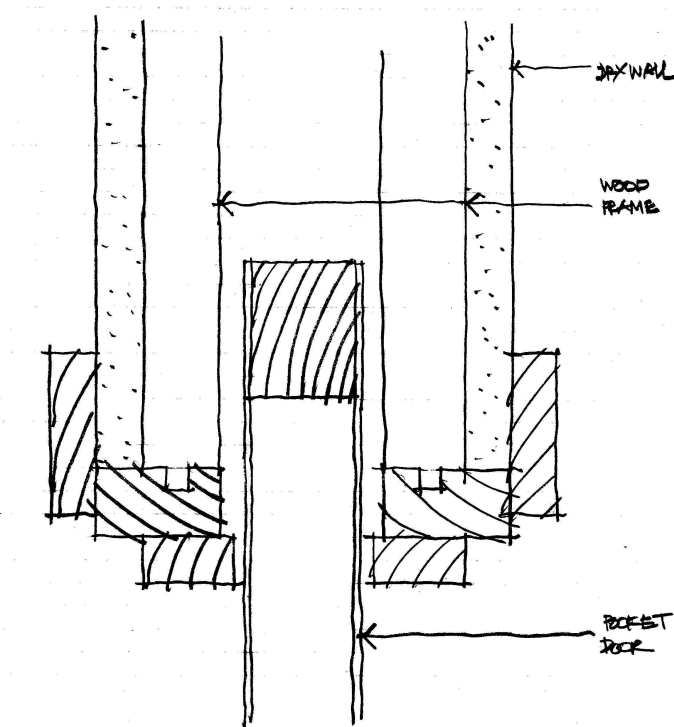
**N501**



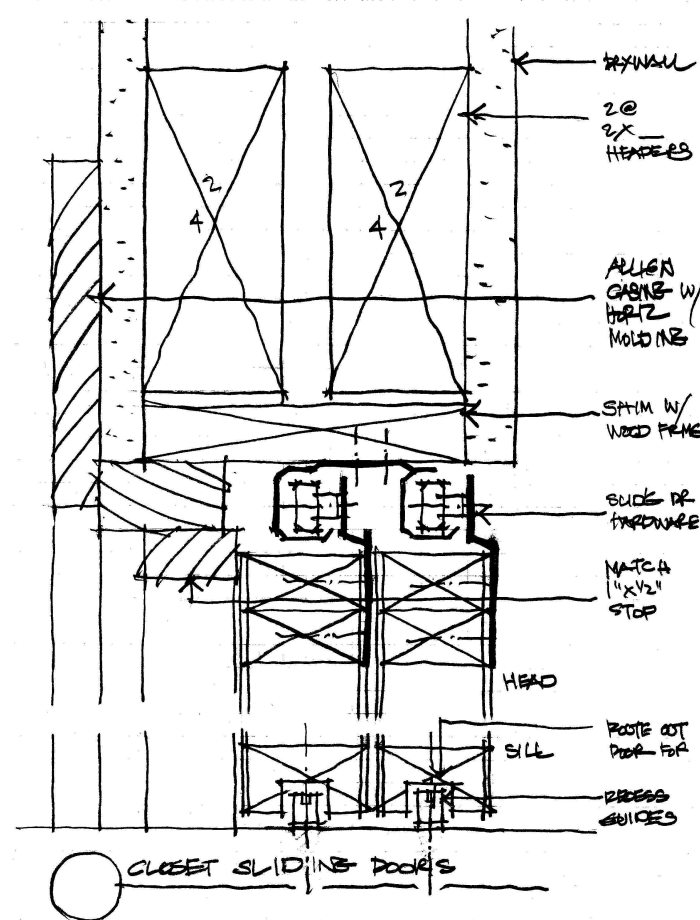
JAMB @ POCKET DOOR



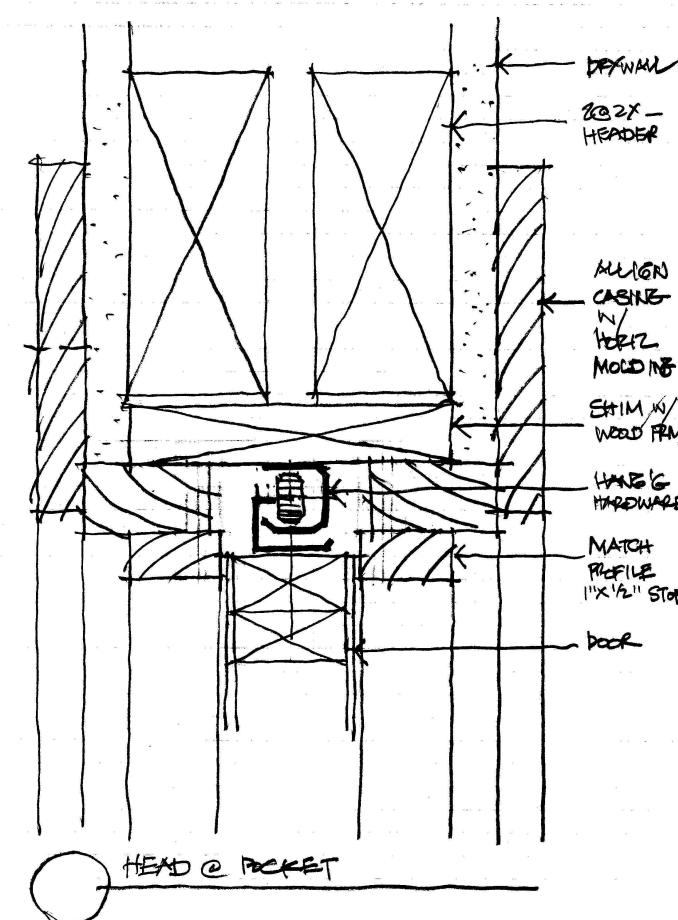
TYPICAL DOOR HEAD (JAMB SHIM)



JAMB @ POCKET



CLOSET SLIDING DOORS

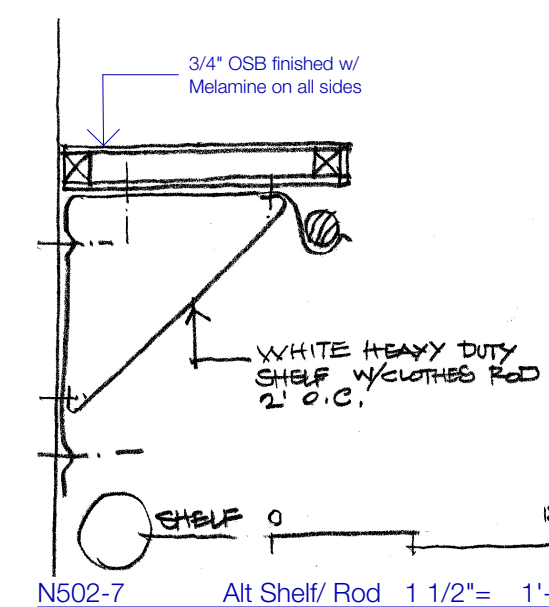


HEAD @ POCKET

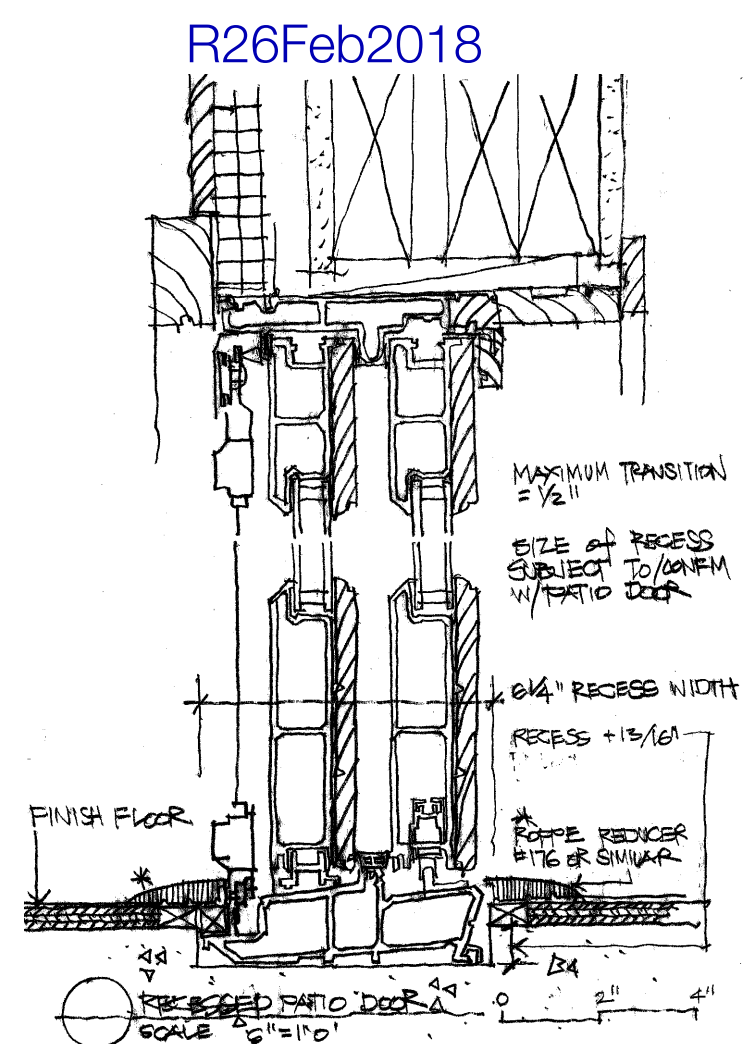
N502-4

Interior Door details

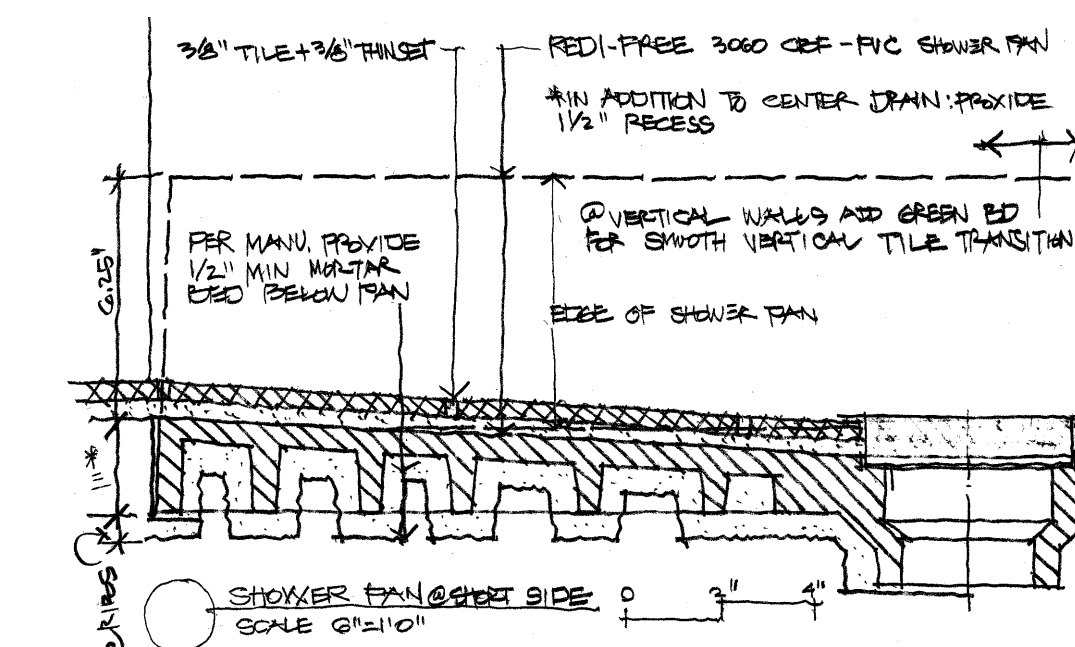
6" = 1'-0"



N502-7 Alt Shelf/ Rod 1 1/2" = 1'-0"



N502-5 Recessed tie Door 3" = 1'-0"



N502-6 N131 Shower Pan 3" = 1'-0"

MARK	DATE	DESCRIPTION
	25Sep2017	*Fix+Appl
	22Feb2018	*Revisions
	17May2018	For Bidding

PROJECT NO: 201702n  
MODEL FILE:  
DRAWN BY: LW, CC, et al  
CHK'D BY: LW  
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Drawing INDEX

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SHEET TITLE  
Window/Door Dtls

N502







